

I TOWN CLERK OF THE TOWN OF NORFOLK,
RECEIVED AND RECORDED FROM THE PLANNING
BOARD APPROVAL OF THIS PLAN AND NO APPEAL
HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

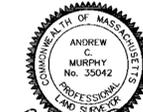
I DECLARE THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____

DATED _____
AND TO BE RECORDED HEREWITH.



ANDREW C. MURPHY P.L.S. #35042

DATE	FIELD BY:	INT.
		JB
BK#	FIELD BOOK	PG#
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	ACM

GRAPHIC SCALE			
(IN FEET)			
1 inch = 40 ft.			
NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD	
DATE APPROVED	_____
DATE ENDORSED	_____

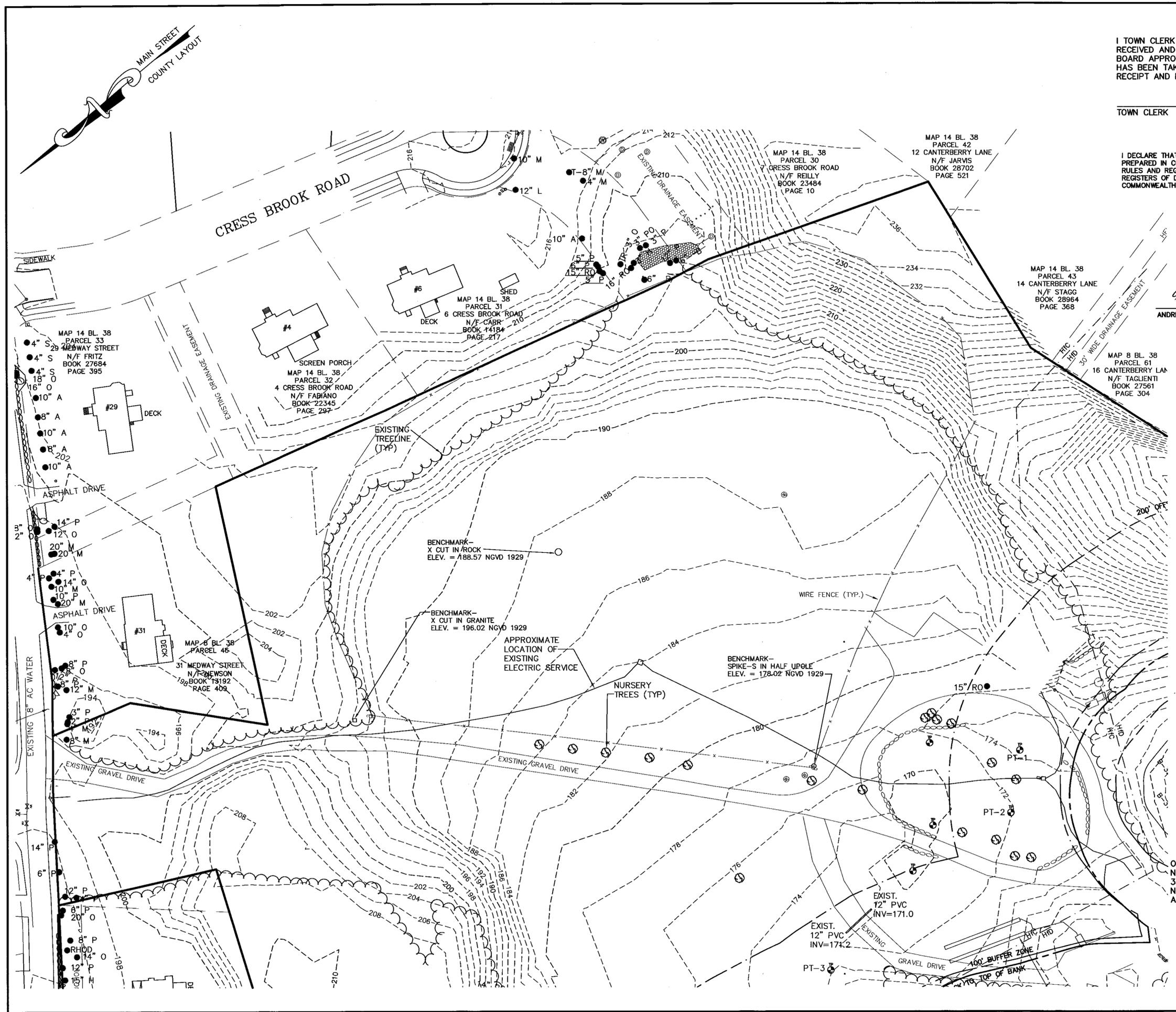
- LEGEND:**
- ☒ WATER GATE
 - ⊕ HYDRANT
 - ⊕ CURB STOP
 - CLDI CEMENT LINED DUCTILE IRON
 - ⊙ DECIDUOUS TREE
 - EVERGREEN TREE
 - ⊙ DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
EXISTING CONDITIONS SHEET - 1
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
ASSESSORS MAP 8 BLOCK 38 LOT 34 SCALE: 1" = 40'

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
ASSESSORS MAP 8 BLOCK 38 LOT 34

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8660 FAX 508-384-8668

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	EC-1



I TOWN CLERK OF THE TOWN OF NORFOLK,
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 - ⊠ HYDRANT
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 - CLDI CEMENT LINED DUCTILE IRON
 - DECIDUOUS TREE
 - EVERGREEN TREE
 - DRAIN MANHOLE
 - CATCH BASIN
 - - - - - EXISTING CONTOUR

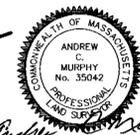
NORFOLK PLANNING BOARD

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NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
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ANDREW C. MURPHY P.L.S. #35042

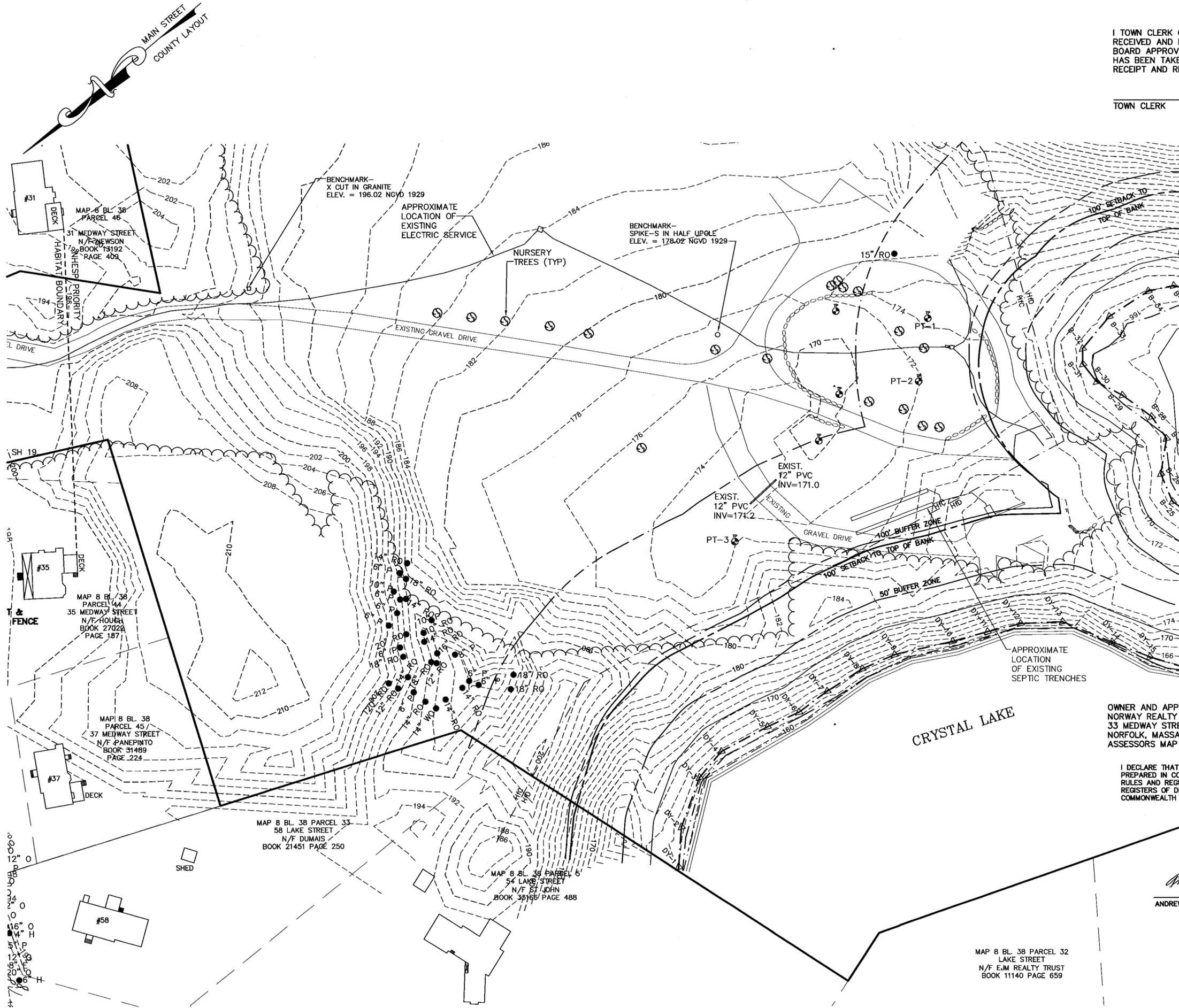
OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
EXISTING CONDITIONS SHEET - 3
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

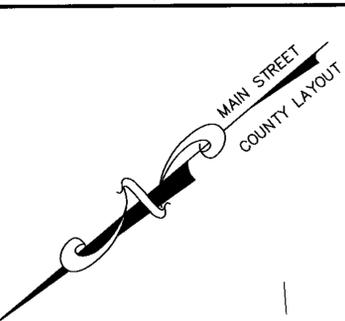
MAP 8 BL. 38 PARCEL 32
LAKE STREET
N/F EJM REALTY TRUST
BOOK 11140 PAGE 659

UNITED
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	EC-3





- LEGEND:**
- N/F NOW OR FORMERLY
 - FND FOUND
 - IP IRON PIPE
 - DH DRILL HOLE
 - DH BND DRILL HOLE BOUND
 - DHCB PROPOSED DRILL HOLE IN CONCRETE BOUND

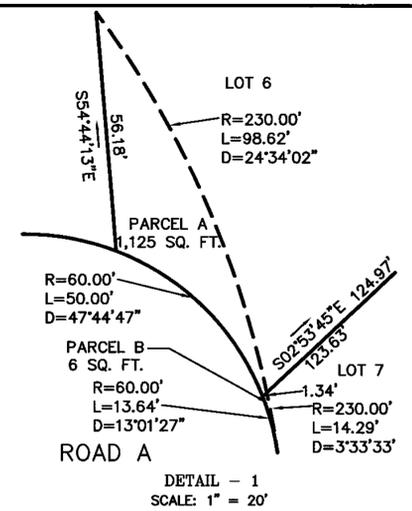
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ANDREW C. MURPHY P.L.S. #35042

REFERENCES:
 MAP 8 BL. 38 LOT 34
 DEED BOOK 33965 PAGE 528
 PLAN 49 OF 1997
 PLAN 583 OF 1993
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 PLAN 85 OF 1999
 PLAN 406 OF 2001
 PLANS 79 - 81 OF 2005



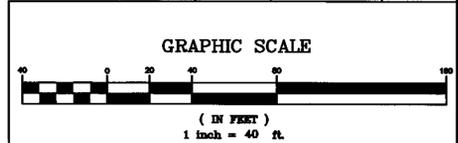
DETAIL - 1
SCALE: 1" = 20'

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10/17	CHECKED BY: ACM	



NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

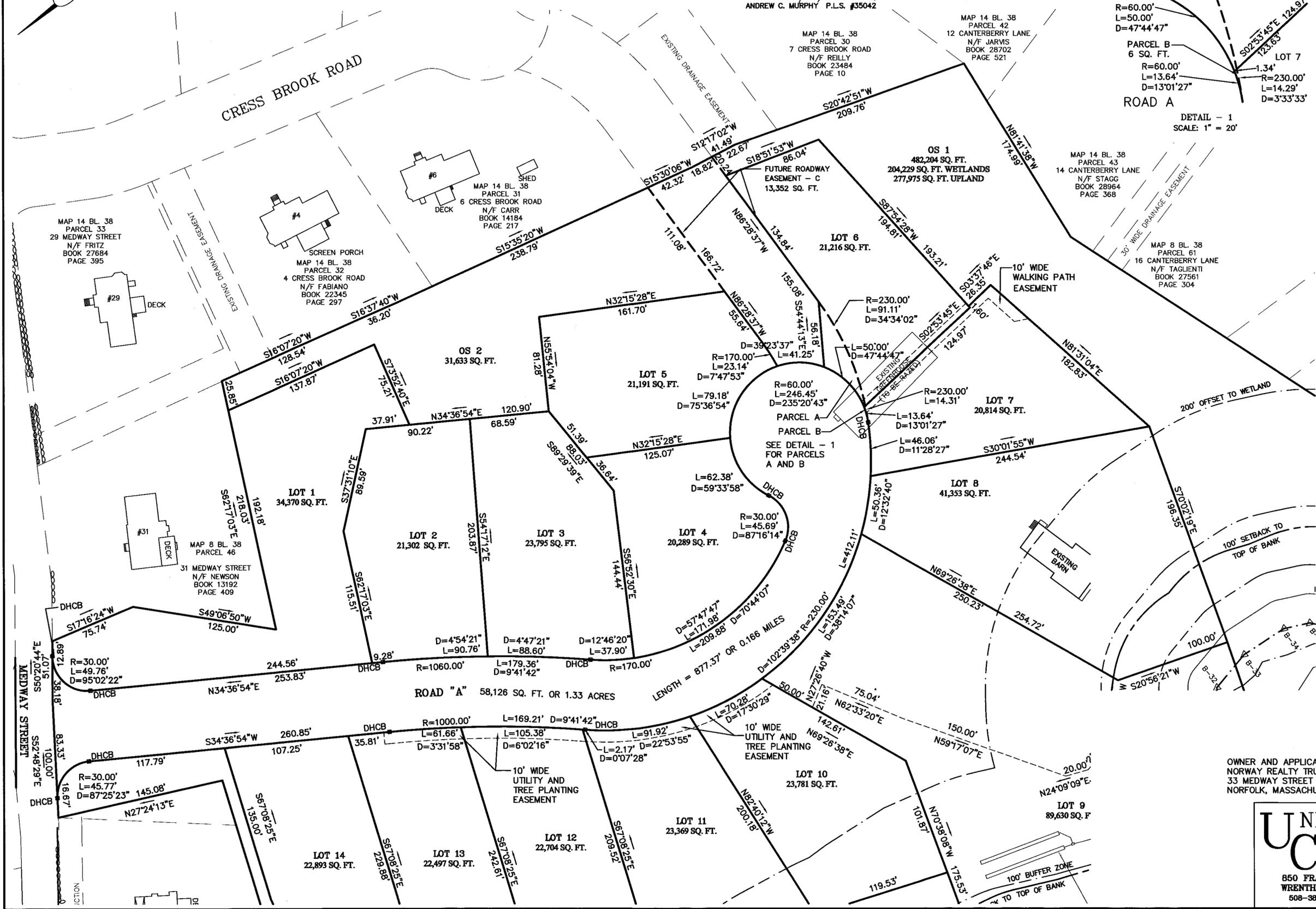
DATE APPROVED _____
DATE ENDORSED _____

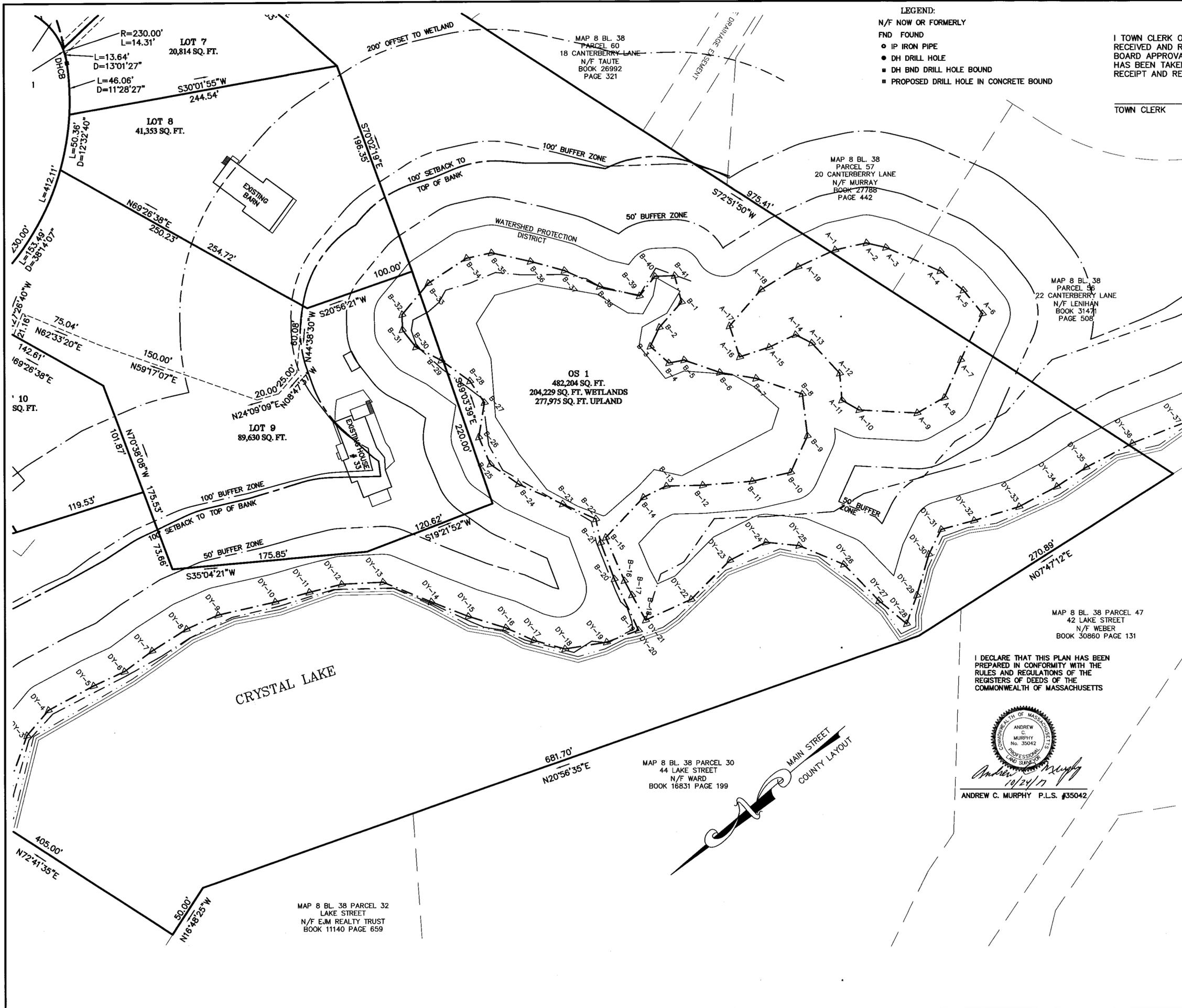
OPEN SPACE PRESERVATION DEVELOPMENT
 NORWAY FARMS
 PLAN OF LAND SHEET - 1
 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 FOR
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 DATE: SEPTEMBER 26, 2017
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OWNER AND APPLICANT:
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6580 FAX 508-384-6586

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	PL-1





LEGEND:
 N/F NOW OR FORMERLY
 FND FOUND
 ○ IP IRON PIPE
 ● DH DRILL HOLE
 ■ DH BND DRILL HOLE BOUND
 ■ PROPOSED DRILL HOLE IN CONCRETE BOUND

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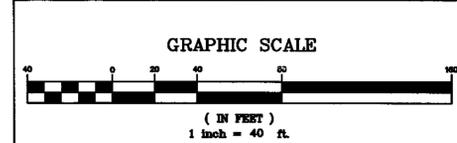
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NORFOLK PLANNING BOARD

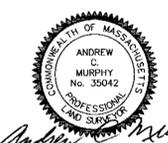
DATE APPROVED _____

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OWNER AND APPLICANT:
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS

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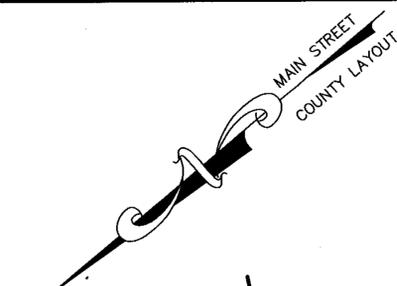
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 REGISTERS OF DEEDS OF THE
 COMMONWEALTH OF MASSACHUSETTS



Andrew C. Murphy
 10/24/17
 ANDREW C. MURPHY P.L.S. #35042

OPEN SPACE PRESERVATION DEVELOPMENT
 NORWAY FARMS
 PLAN OF LAND SHEET - 2
 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 FOR
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 DATE: SEPTEMBER 26, 2017
 SCALE: 1" = 40'

<p>UNITED CONSULTANTS INC.</p> <p>850 FRANKLIN STREET SUITE 11D WRENTHAM, MASSACHUSETTS 02093 508-384-6560 FAX 508-384-6566</p>	DATE	SEPT. 26, 2017
	SCALE	1" = 40'
	PROJECT	UC293-DEF
	SHEET	PL-2



- LEGEND:**
- N/F NOW OR FORMERLY
 - FND FOUND
 - IP IRON PIPE
 - DH DRILL HOLE
 - DH BND DRILL HOLE BOUND
 - PROPOSED DRILL HOLE IN CONCRETE BOUND

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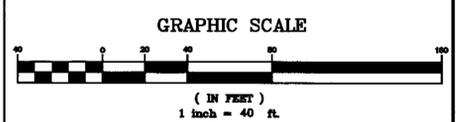
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CONDITIONS SET FORTH IN A COVENANT EXECUTED
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10/17	DRAWN BY:	COMP
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NORFOLK PLANNING BOARD

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DATE ENDORSED _____

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

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OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
PLAN OF LAND SHEET - 3
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

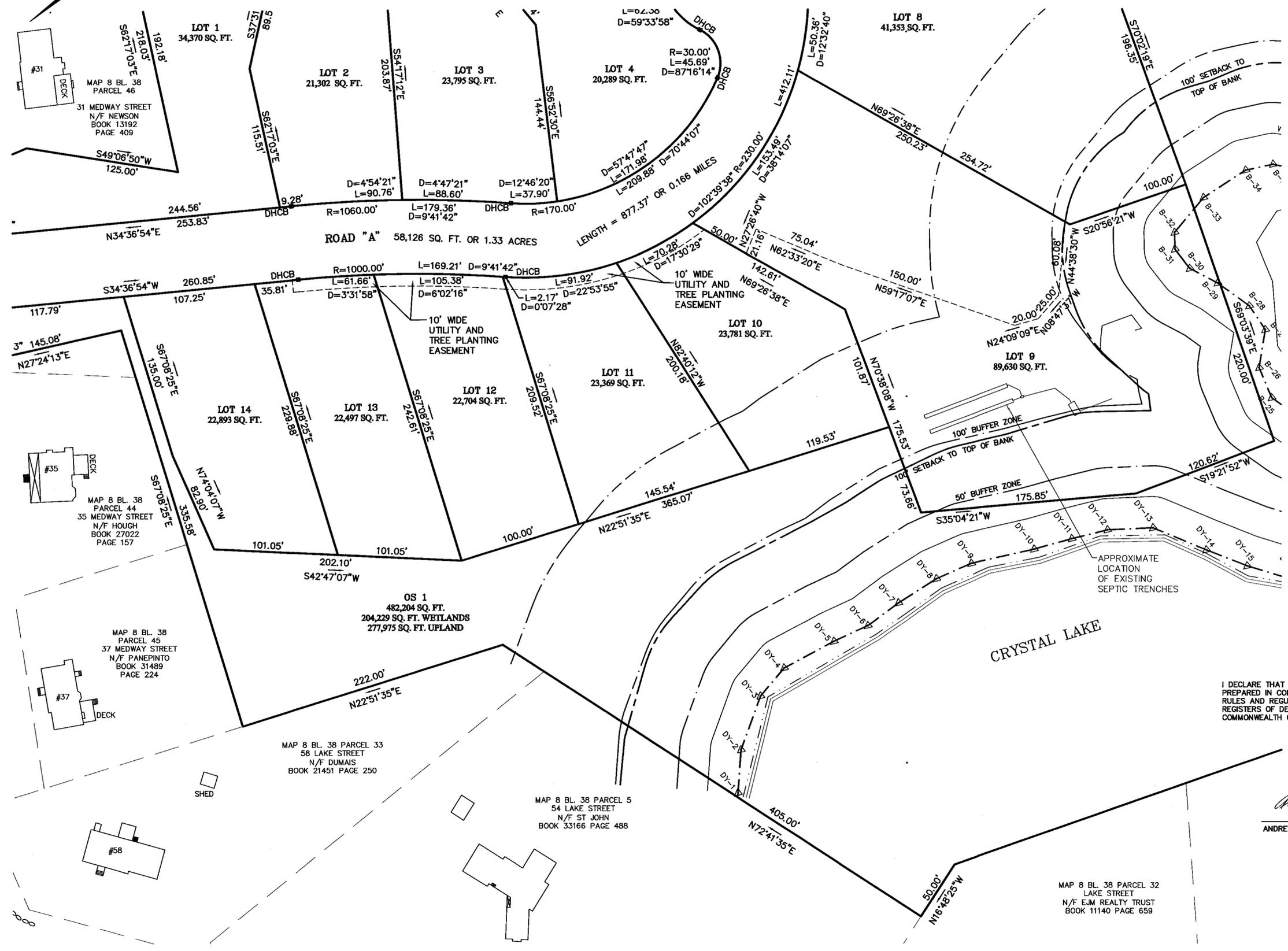


ANDREW C. MURPHY P.L.S. #35042

UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE
SEPT. 26, 2017
SCALE
1" = 40'
PROJECT
UC293-DEF
SHEET
PL-3



NOTES:

1. HOUSE, DRIVEWAY, SEPTIC SYSTEM AND ROOF RECHARGE SYSTEMS ARE SHOWN SCHEMATICALLY. FINAL DESIGN TO BE SHOWN ON THE SITE / SEPTIC DESIGN PLANS, WHICH WILL BE PREPARED FOR EACH LOT.

GENERAL NOTES:

1. SITE GRADING SHALL BE AS SHOWN ON THE SITE PLAN.
2. ALL UTILITIES SHALL BE UNDERGROUND.
3. ALL ELEVATIONS AND CONTOURS ARE BASED ON NGVD 1929.
4. CONTRACTOR TO CONTACT DIGSAFE A MINIMUM OF 72 HOURS PRIOR TO COMMENCING WITH CONSTRUCTION.

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

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UTILITY NOTES:

1. ALL CONSTRUCTION TO CONFORM TO THE TOWN OF NORFOLK PLANNING BOARD RULES AND REGULATION AND DPW RULES, REGULATIONS AND STANDARDS.
2. WATER MAINS, HYDRANTS, AND VALVE MATERIALS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NORFOLK DEPARTMENT OF PUBLIC WORKS STANDARDS INCLUDING COVER.
2. ALL UTILITIES SHALL BE UNDERGROUND.
3. WATER SERVICE SHALL HAVE A MINIMUM OF 5' OF COVER.
4. ALL CATCH BASINS SHALL HAVE CURB INLET STONES AND TRANSITIONS STONES INSTALLED.

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PERMEABILITY TEST PITS:
 PT 1 - SURFACE ELEVATION = 174.25
 ESHGW ELEVATION = 165.58
 PT 2 - SURFACE ELEVATION = 171.69
 ESHGW ELEVATION = 165.02
 PT 3 - SURFACE ELEVATION = 173.70
 ESHGW ELEVATION = 165.03

DATE	FIELD BY:	INT.
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10/17	CHECKED BY: CAQ	

DRIVEWAY CULVERT SCHEDULE:

C1 50' OF 12" ADS
 IN = 180.0
 INV OUT = 178.0

C2 37' OF 12" ADS
 IN = 181.5
 OUT 180.4

C3 34' OF 12" ADS
 IN = 183.6
 OUT 181.95

C4 37' OF 12" ADS
 IN = 186.1
 OUT 184.2

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

NO.	DATE	DESCRIPTION	BY

LEGEND:

- ☒ WATER GATE
- ⊕ HYDRANT
- ⊕ CURB STOP
- CLDI CEMENT LINED DUCTILE IRON
- ⊙ EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- TREE LINE
- ⊙ DRAIN MANHOLE
- CATCH BASIN
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ☒ ROOF RECHARGE SYSTEM
- H/C SOIL TYPE
- HD

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

NORFOLK PLANNING BOARD

DATE APPROVED _____
 DATE ENDORSED _____

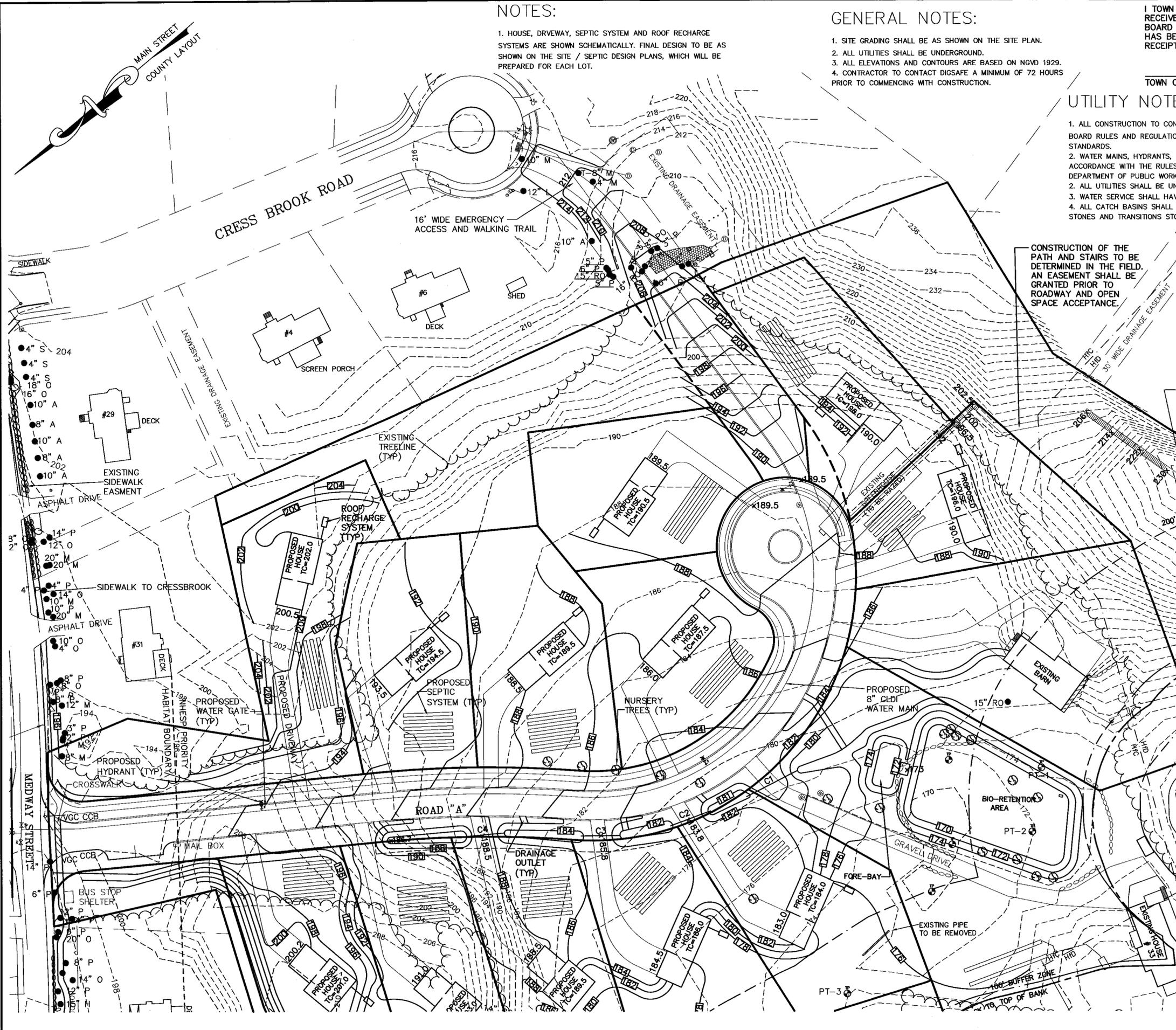


OPEN SPACE PRESERVATION DEVELOPMENT
 NORWAY FARMS
 GRADING AND UTILITY SHEET - 1
 MEDWAY STREET
 NORFOLK, MASSACHUSETTS

FOR
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 DATE: SEPTEMBER 26, 2017
 SCALE: 1" = 40'

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	SCALE	PROJECT	SHEET
SEPT. 26, 2017	1" = 40'	UC293-DEF	GU1



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(IN FEET)
1 inch = 40 ft.

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NORFOLK PLANNING BOARD

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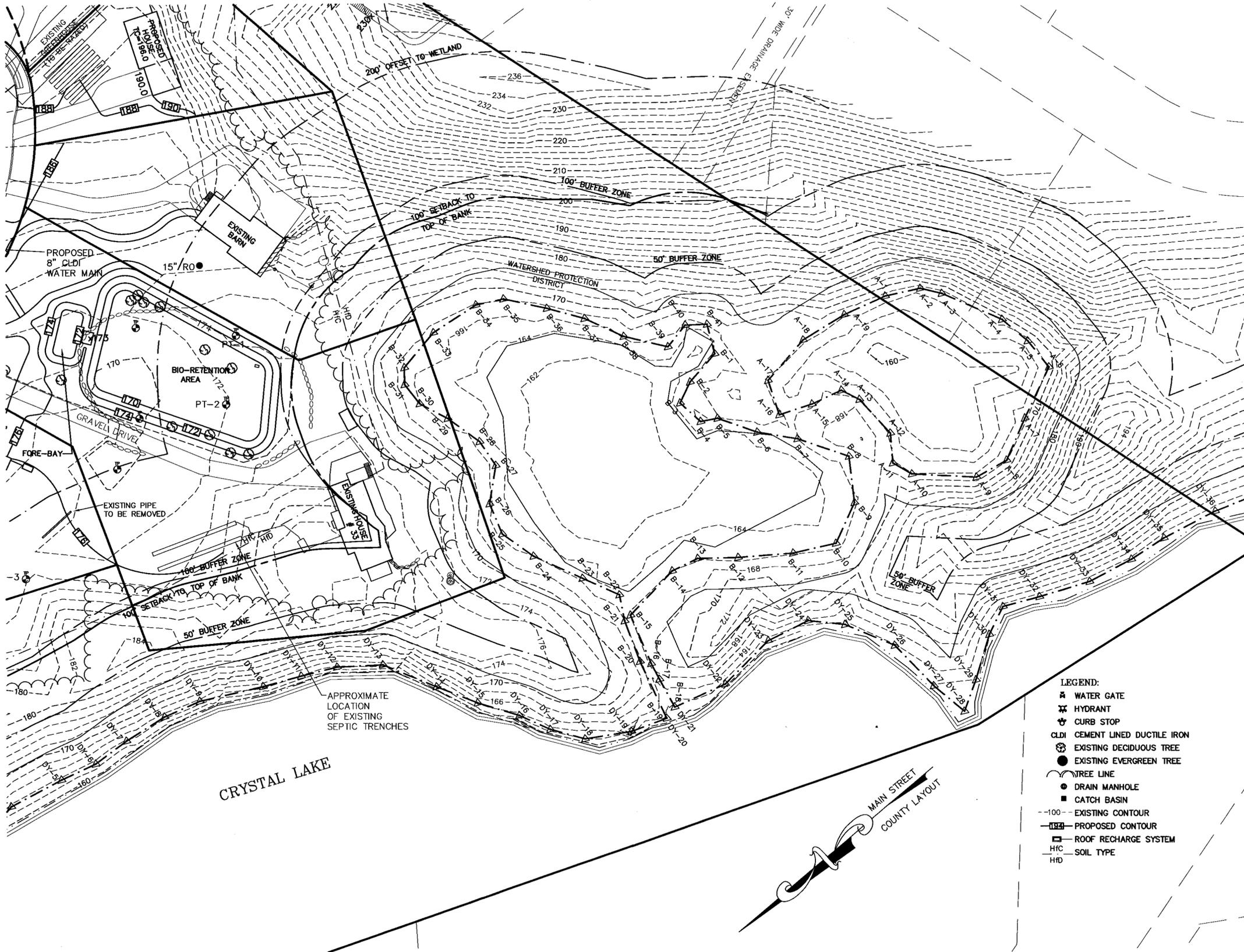
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Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
GRADING AND UTILITY SHEET - 2
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

- LEGEND:**
- WATER GATE
 - HYDRANT
 - CURB STOP
 - CUDI CEMENT LINED DUCTILE IRON
 - EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - TREE LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 125- PROPOSED CONTOUR
 - ROOF RECHARGE SYSTEM
 - H7C SOIL TYPE
 - H10



UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
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SHEET	GU2

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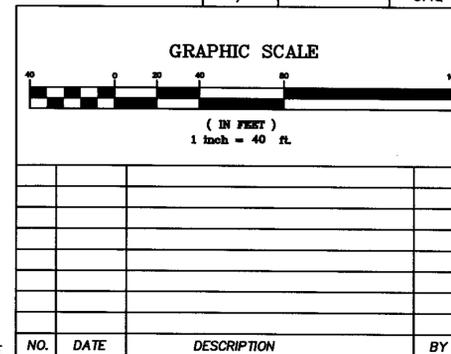
DATE _____

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COVENANTS TO BE RECORDED HERewith.

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10/17	CHECKED BY:	CAQ



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- ☒ WATER GATE
 - ⊕ HYDRANT
 - ⊕ CURB STOP
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 - EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - TREE LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 192- PROPOSED CONTOUR
 - ☐ ROOF RECHARGE SYSTEM
 - HFC SOIL TYPE
 - HD

NORFOLK PLANNING BOARD

DATE APPROVED _____
DATE ENDORSED _____

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

CARLOS A. QUINTAL
CIVIL No. 30812
REGISTERED PROFESSIONAL ENGINEER
Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
GRADING AND UTILITY SHEET - 3
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-0560 FAX 508-384-0566

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	GU3

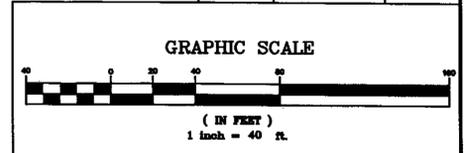
I TOWN CLERK OF THE TOWN OF NORFOLK,
RECEIVED AND RECORDED FROM THE PLANNING
BOARD APPROVAL OF THIS PLAN AND NO APPEAL
HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HERewith.
APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED _____
AND TO BE RECORDED HERewith.

DATE	FIELD BY:	INT.
	JB	
BK#	FIELD BOOK	PG#
10/17	CALCS BY: RRG	
10/17	DESIGNED BY: RRG	
10/17	DRAWN BY: COMP	
10/17	CHECKED BY: CAQ	



NO.	DATE	DESCRIPTION	BY

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

NORFOLK PLANNING BOARD

DATE APPROVED _____
DATE ENDORSED _____

I DECLARE THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

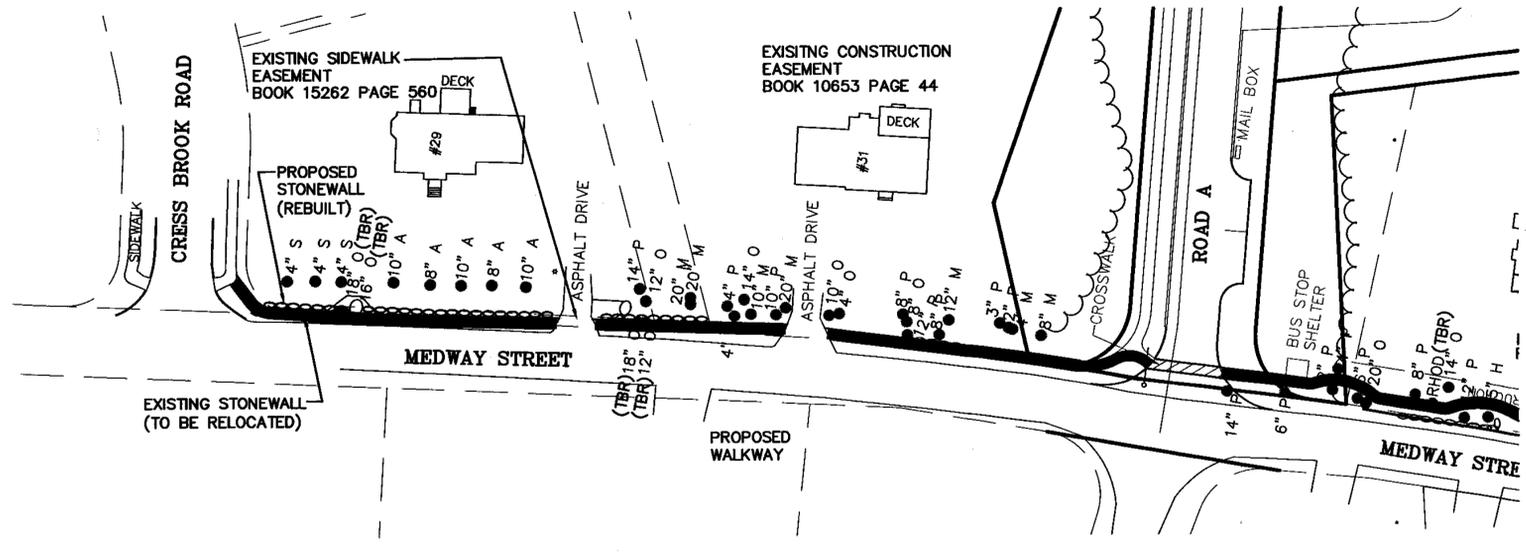


Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

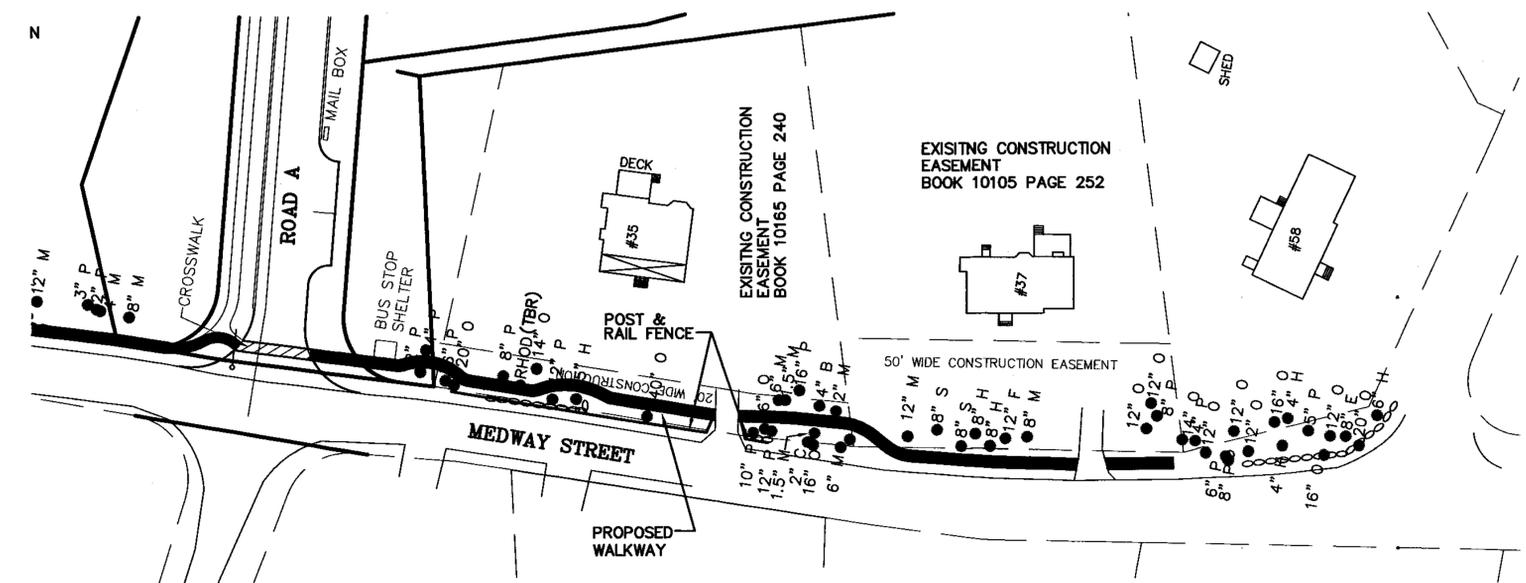
OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
MEDWAY STREET SIDEWALK - 1
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

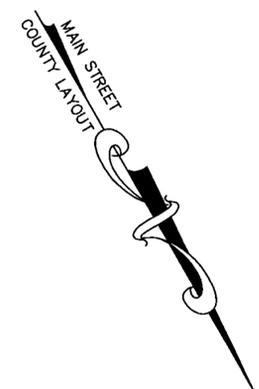
DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	MSSW-1



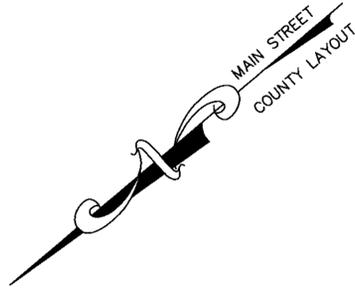
MEDWAY STREET SIDEWALK EAST OF SITE
SCALE: H: 1" = 40'



MEDWAY STREET SIDEWALK EAST OF SITE
SCALE: H: 1" = 40'



NOTE:
TBR = TO BE REMOVED



PLANTING NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOT WITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. PLANTING AREAS SHALL BE COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE CURBING EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)
8. ALL PLAN MATERIAL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CONVENTIONAL PROFESSIONAL STANDARDS, AS DESCRIBED BY THE AMERICAN NURSERYMEN, OR THE MASSACHUSETTS NURSERYMEN'S ASSOCIATION.

GENERAL NOTES

1. EXISTING CONDITIONS ARE THE RESULT OF A FIELD SURVEY AND AVAILABLE PLANS OF RECORD AND UTILITY MARKINGS.
2. CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS AND SHALL CONTACT DIGSAFE AND APPROPRIATE TOWN AND UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR TO EXCAVATE TEST PITS TO CONFIRM UTILITY LOCATIONS FOR THE PROPOSED STREET TREES TO BE PLANTED.
3. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PLANTED AREAS.
4. FINAL GRADING TO BE A MAXIMUM OF 3' HORIZONTAL TO 1' VERTICAL.
5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 6" OF LOAM AND SHALL BE SEEDED.
6. INSTALL MULCH 6" IN DIAMETER AROUND ALL TREES.

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

- LEGEND:**
- ☒ WATER GATE
 - ⊕ HYDRANT
 - ⊕ CURB STOP
 - ☼ PROPOSED TREE
 - ⊕ DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 188- PROPOSED CONTOUR

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HEREWITH.

DATE	FIELD BY:	INT. JB
10/17	CALCS BY: RRG	
10/17	DESIGNED BY: RRG	
10/17	DRAWN BY: COMP	
10/17	CHECKED BY: CAQ	

GRAPHIC SCALE

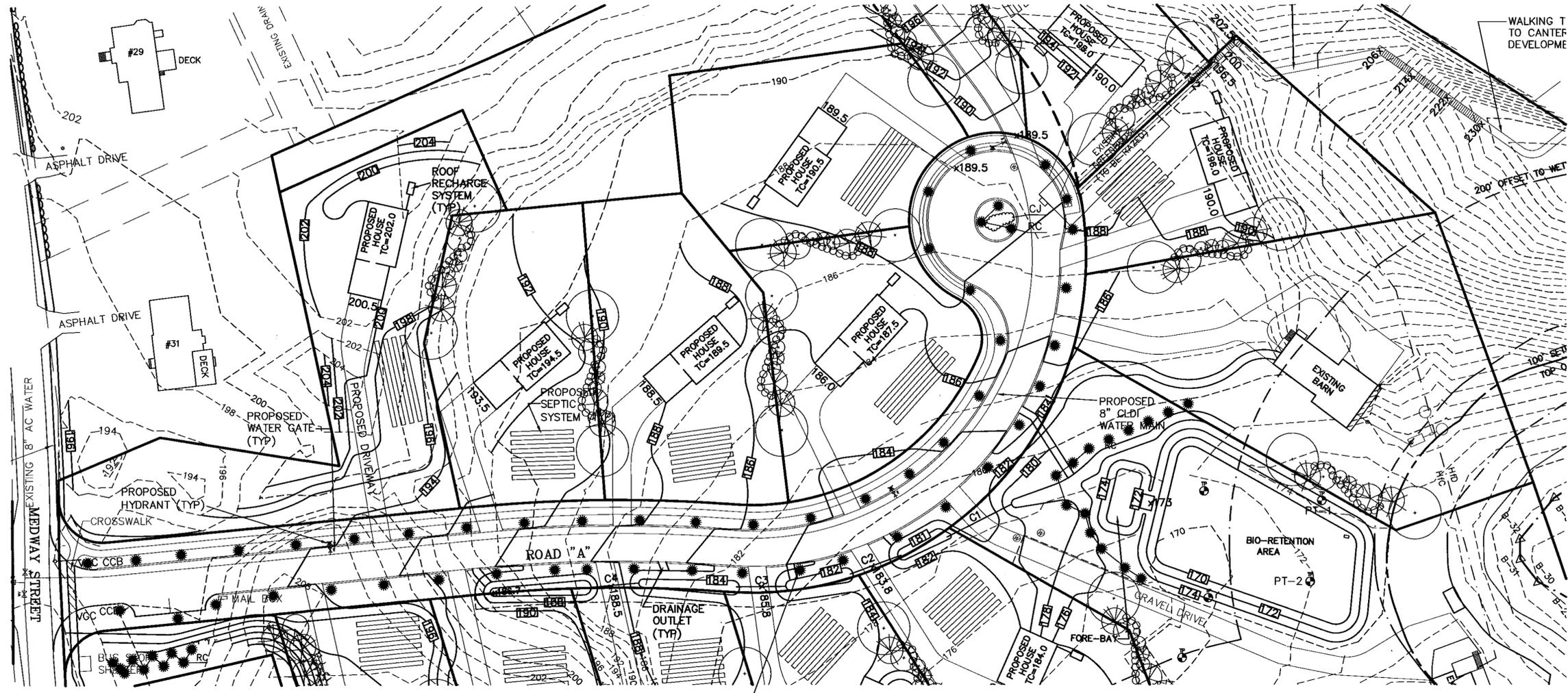
(IN FEET)
1 inch = 40 ft.

NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

DATE APPROVED _____

DATE ENDORSED _____



STREET TREE (TYP)
SEE PLANTING TABLE FOR SPECIES AND CONFIGURATION
SEE NOTES FOR SPACING REQUIREMENTS.

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



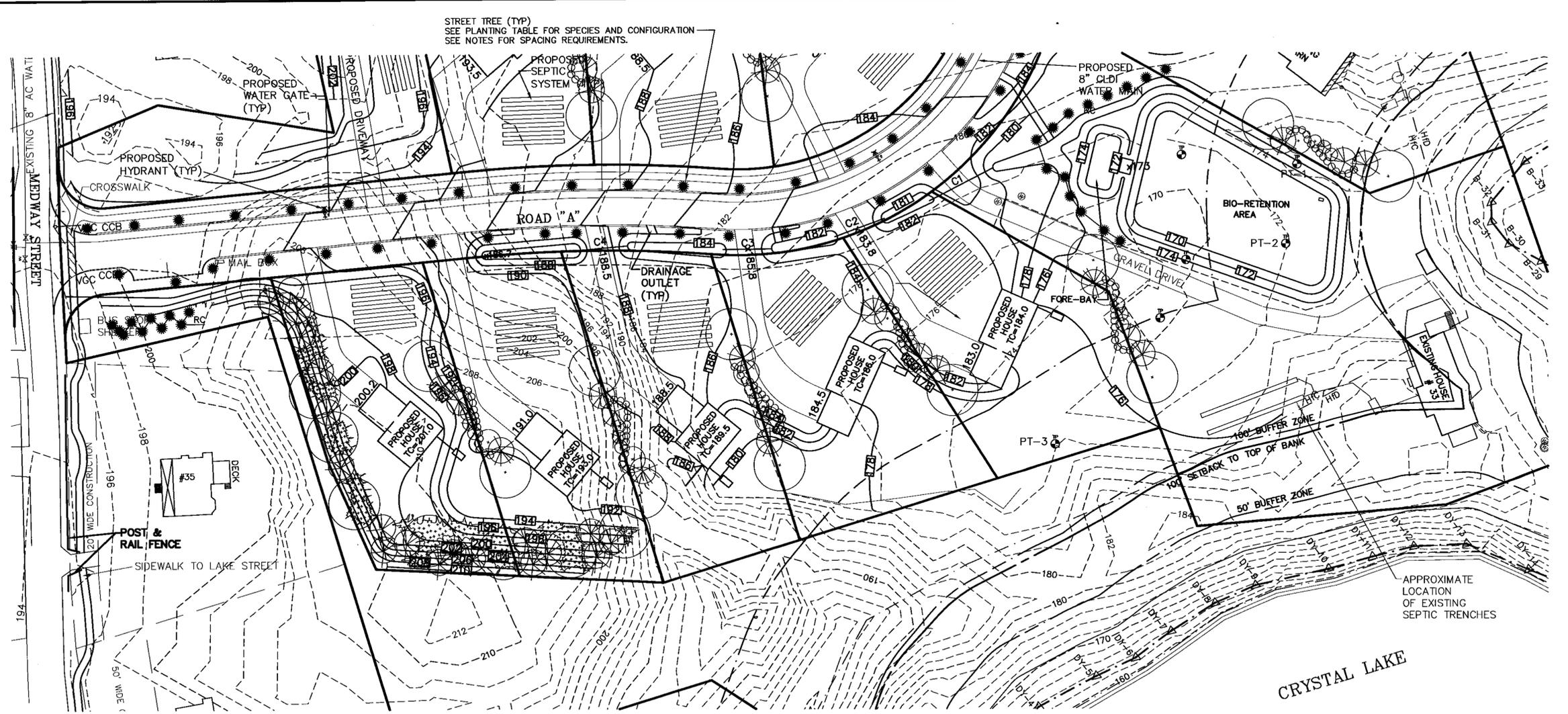
CARLOS A. QUINTAL P.E. #30812

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	PP-1



STREET TREE (TYP)
SEE PLANTING TABLE FOR SPECIES AND CONFIGURATION
SEE NOTES FOR SPACING REQUIREMENTS.

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.
APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED _____
AND TO BE RECORDED HEREWITH.

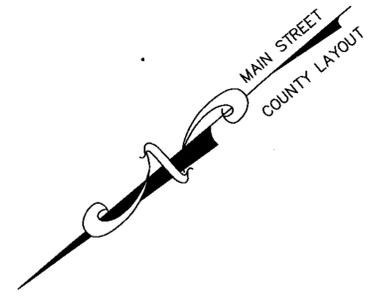
DATE	FIELD BY:	INT.
		JB
BK#	FIELD BOOK	PG#
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	CAQ

GRAPHIC SCALE

NO.	DATE	DESCRIPTION	BY

- Legend:**
- Street Tree (35' o.c. Min.)
 - Evergreen Tree (25' o.c. Min.)
 - Border Shrubs
 - Ornamental Tree (Typ.)
 - Juniper or eq. (Typ.)
- Street Tree species: Sycamore Maple, Red & Sugar Maple cultivars, European Hornbeam, Katsun tree, Ginkgo variety, Sweetgum, Red Oak, Zelkova, Japanese Pagod tree, Thornless Honeylocust, Bloodgood London Planetree
- Ornamental Trees Species: Paperbark Maple, Heritage River Birch, Japanese Maple, Crab Apple, Horse Chestnut Hybrids, Redbud, Magnolia varieties, Dawn Redwood, Larch, Sourwood, Cherry, Snowbell, Tree Lilac, Kousa & Rutgers cultivar Dogwood, Japanese Stewartia, Mountain Silverbell, Lace Bark Elm, Beech, Tupelo
- Evergreen Trees: Norway, Serbian & Oriental Spruce, White Pine, Fir, Western Red Cedar, Alaskan Cedar, Juniper tree form variety
- Border Shrub species: Rhododendron, Azalea, Andromeda, Rose of Sharon, Juniper, Russian Arborvitae, Mountain Pieris, White Fringetree, Summersweet, Frothergilla, Witch hazel varieties, Hydrangea varieties, Virginia wetspire, Lilac varieties, Viburnum varieties, Spike Winterhazel, Ornamental Grasses

NOTES:
1. PLANT 48 STREET TREES AT A MAXIMUM SPACING OF 40 FEET ON CENTER. (SECT. 4.9.4)
2. MINIMUM SPACING BETWEEN STREET TREES AND FIRE HYDRANTS SHALL BE 15 FEET.
3. NO EXISTING TREES WITHIN THE RIGHT OF WAY ARE TO REMAIN.

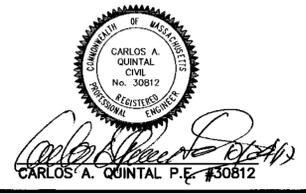


- LEGEND:
- WATER GATE
 - HYDRANT
 - CURB STOP
 - PROPOSED TREE
 - DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 182- PROPOSED CONTOUR

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
PLANTING PLAN - 2
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	PP-2

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

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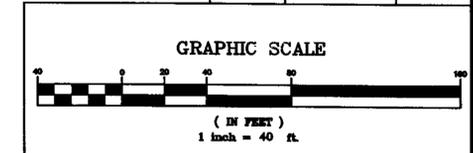
Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HERewith.
APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

DATE	FIELD BY:	INT.
10/17	FIELD BOOK	JB
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	CAQ



NO.	DATE	DESCRIPTION	BY

- LEGEND:
- ⊠ WATER GATE
 - ⊕ HYDRANT
 - ⊙ CURB STOP
 - CLDI CEMENT LINED DUCTILE IRON
 - ⊙ EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - TREE LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 182- PROPOSED CONTOUR
 - ☐ ROOF RECHARGE SYSTEM
 - H1C SOIL TYPE
 - H1D

NORFOLK PLANNING BOARD

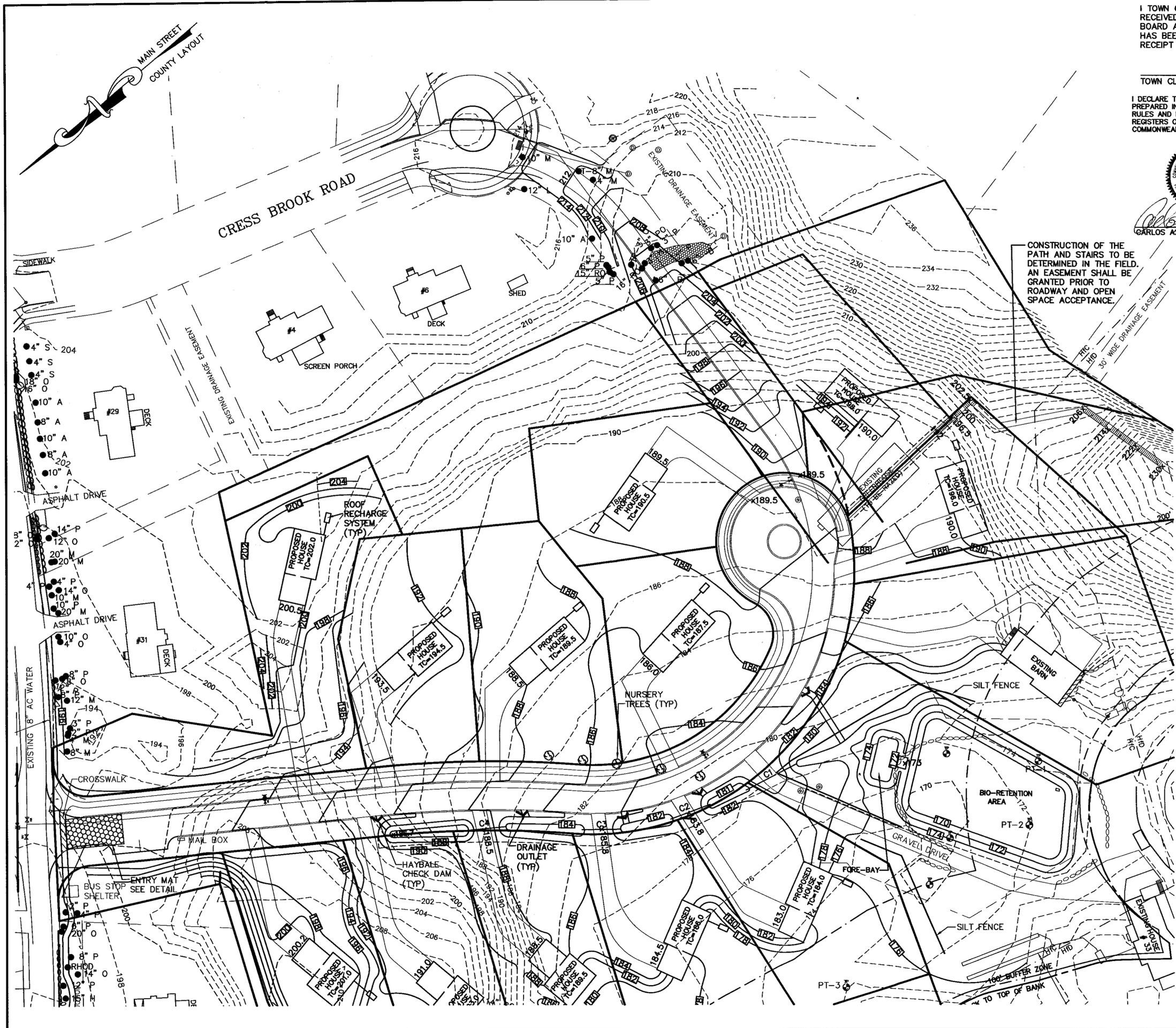
DATE APPROVED _____

DATE ENDORSED _____

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
EROSION CONTROL SHEET - 1
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE: SEPT. 26, 2017
SCALE: 1" = 40'
PROJECT: UC293-DEF
SHEET: E-CONT-1



OPERATION AND MAINTENANCE PLAN

- CONSTRUCTION PHASE**
1. THE OWNERS REPRESENTATIVE, ROBERT CAIN, JR. (1-508-560-8899), OF NORWAY REALTY TRUST II 33 MEDWAY STREET NORFOLK MA, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
 2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
 3. SEDIMENT SHALL BE REMOVED FROM HAYBALE CHECK DAMS AND SILT FENCE WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
 4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
 5. DAMAGED OR DETERIORATED HAYBALE CHECK DAMS AND SILT FENCE AREAS SHALL BE REPLACED IMMEDIATELY.
 6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.

EROSION CONTROL NOTES:

1. ENTRY MAT TO BE INSTALLED PRIOR TO SITE WORK COMMENCING.
2. SILT FENCE TO BE INSTALLED PRIOR TO STARTING CONSTRUCTION OF THE BIO-RETENTION AREA.
3. HAYBALE CHECK DAMS TO BE INSTALLED ONCE THE SWALES ARE CONSTRUCTED AND SHALL REMAIN IN PLACE UNTIL THE CONTRIBUTORY WATERSHED IS STABILIZED.
4. SLOPES GREATER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE STABILIZED WITH HYDROSEED, SECURED GEOTEXTILE FABRIC OR RIPRAP AS REQUIRED TO PREVENT EROSION.
5. ROADWAY AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

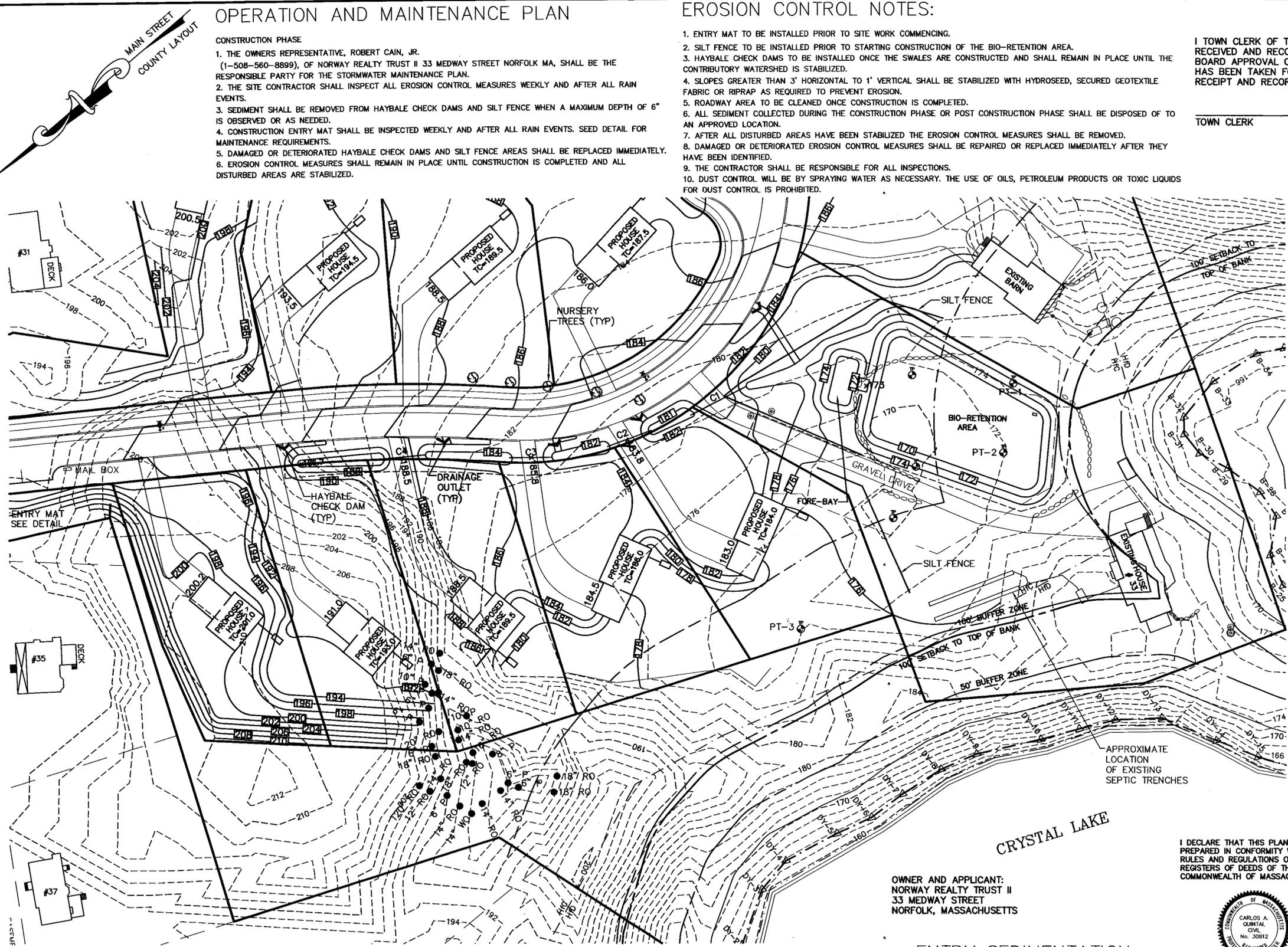
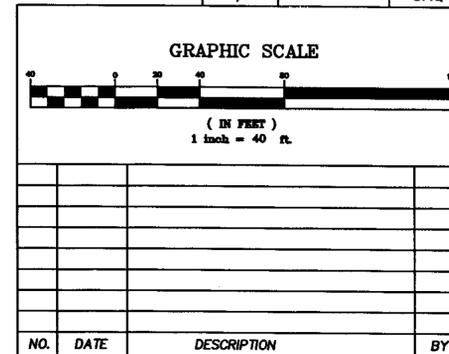
FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____

DATED _____ AND TO BE RECORDED HEREWITH.

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10/17	CALCS BY: RRG	RRG
10/17	DESIGNED BY: RRG	RRG
10/17	DRAWN BY: COMP	COMP
10/17	CHECKED BY: CAQ	CAQ

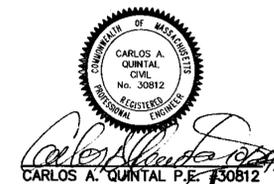


- LEGEND:**
- ☒ WATER GATE
 - ⊕ HYDRANT
 - ⊕ CURB STOP
 - CLDI CEMENT LINED DUCTILE IRON
 - ⊕ EXISTING DECIDUOUS TREE
 - EXISTING EVERGREEN TREE
 - TREE LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - 100- EXISTING CONTOUR
 - 175- PROPOSED CONTOUR
 - ☐ ROOF RECHARGE SYSTEM
 - HFC SOIL TYPE
 - HfD

NORFOLK PLANNING BOARD

DATE APPROVED _____
DATE ENDORSED _____

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

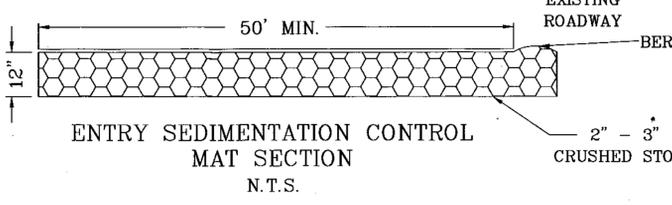


OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
EROSION CONTROL SHEET - 2
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

ENTRY SEDIMENTATION MAT NOTES

1. ENTRANCE MAT WIDTH TO BE A MINIMUM OF 24' AND SHALL NOT BE LESS THAN THE FULL WIDTH REQUIRED FOR ENTRY AND EGRESS.
2. THE ENTRANCE MAT SHALL BE MAINTAINED TO PREVENT THE TRACKING OF SEDIMENT ONTO CRESSBROOK ROAD. REMOVAL OF SEDIMENT OR TOP DRESSING WITH ADDITIONAL STONE SHALL BE COMPLETED AS REQUIRED.
3. ANY SEDIMENT WASHED, SPILLED, DROPPED OR TRACKED ONTO THE ROADWAYS SHALL BE REMOVED IMMEDIATELY.
4. INSPECTION SHALL BE COMPLETED WEEKLY AND AFTER ALL RAIN EVENTS.
5. MAINTENANCE SHALL BE COMPLETED AS NECESSARY.



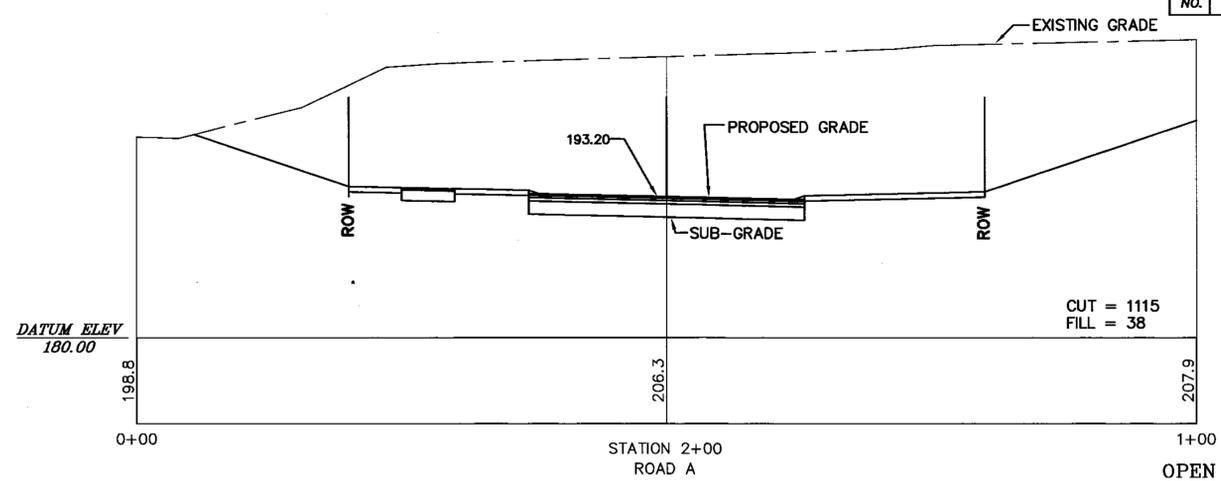
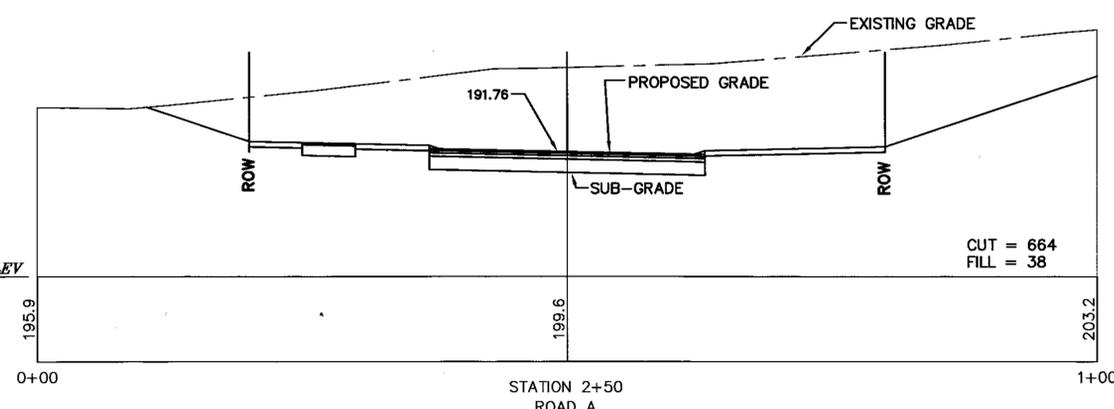
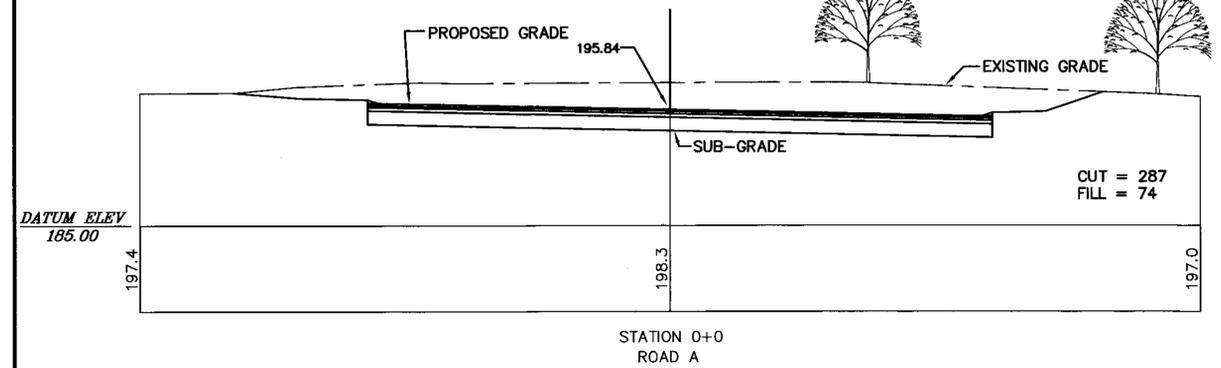
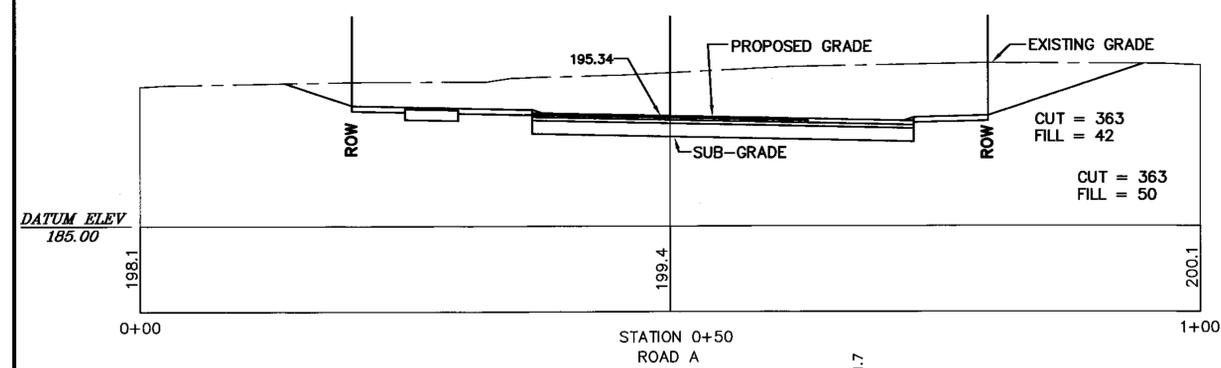
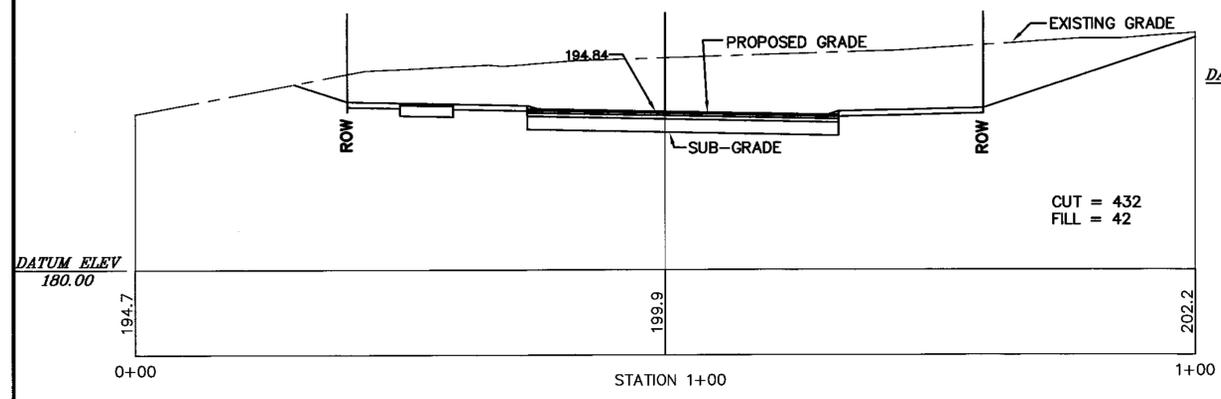
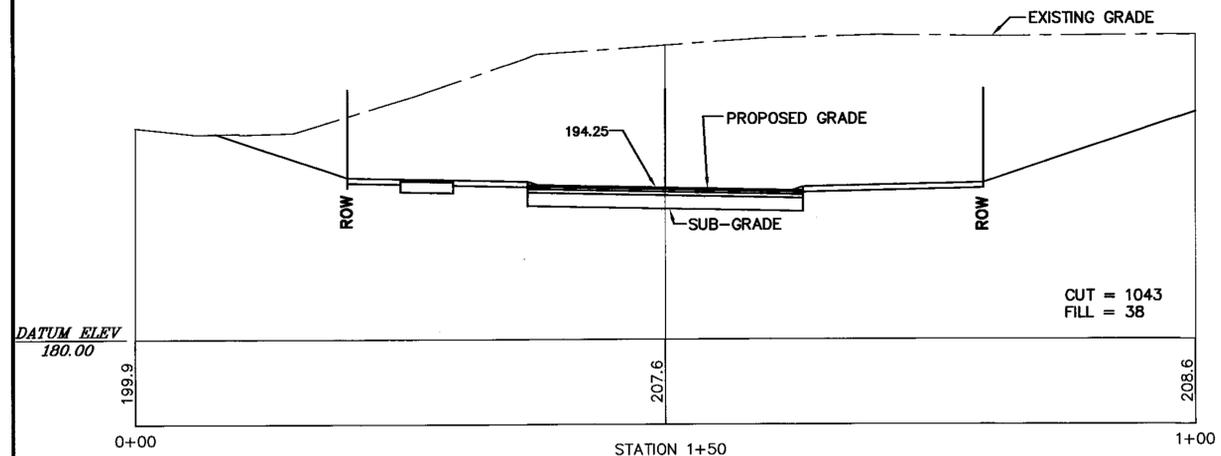
ENTRY SEDIMENTATION CONTROL MAT SECTION
N.T.S.

- CONSTRUCTION SEQUENCE NOTES:**
1. INSTALL ENTRY SEDIMENTATION CONTROL MATS.
 2. USE EXISTING DEPRESSION AS A TEMPORARY SEDIMENTATION BASIN.
 3. COMMENCE WITH SITE WORK, INSTALL WATER MAIN AND BRING ROADWAY TO SUBGRADE.
 4. CONSTRUCT SWALES.
 5. PAVE ROADWAY AND CONSTRUCT EMERGENCY ACCESS ROAD.
 6. CONSTRUCT SIDEWALK.
 7. PAVE ROADWAY AND INSTALL BERM CURB.
 8. CONSTRUCT BIO-RETENTION AREA.
 9. PAVE ROADWAY AND INSTALL BERM CURB. LOAM AND SEED ALL REMAINING DISTURBED AREA.

- POST CONSTRUCTION PHASE**
1. THE PROPERTY OWNER, ROBERT CAIN, JR. (1-508-560-8899), OF NORWAY REALTY TRUST II 33 MEDWAY STREET, NORFOLK, MA, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER OPERATION AND MAINTENANCE PLAN.
 2. ROADWAY AREAS SHALL BE SWEEPED ON AN ANNUAL BASIS.
 3. WATER QUALITY SWALES, SEDIMENT FOREBAY AND BIO-RETENTION AREA SHALL BE INSPECTED QUARTERLY AND CLEANED ANNUALLY OR MORE FREQUENTLY IF NEEDED.
 4. LANDSCAPED AND TURF AREAS SHALL BE INSPECTED QUARTERLY. ANY ERODED AREAS SHALL BE IMMEDIATELY REPAIRED.

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	
SHEET	E-CONT-2



I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

SCALE:
HORIZONTAL - 1" = 8'
VERTICAL - 1" = 8'

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
ROAD "A" CROSS SECTIONS - 1
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 8'

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HEREWITH.

DATE	FIELD BY:	INT.
10/17	CALCS BY: RRG	PG#
10/17	DESIGNED BY: RRG	
10/17	DRAWN BY: COMP	
10/17	CHECKED BY: CAQ	

GRAPHIC SCALE

(IN FEET)
1 inch = 8 ft.

NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

DATE APPROVED _____

DATE ENDORSED _____

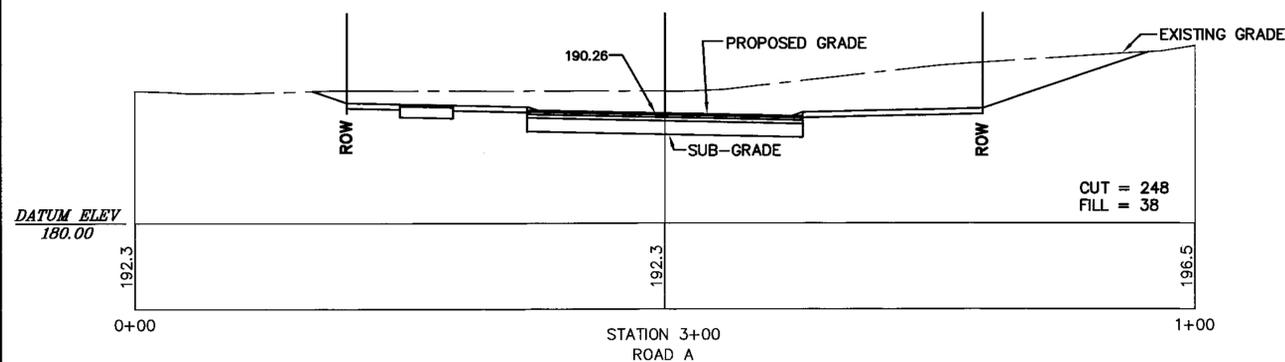
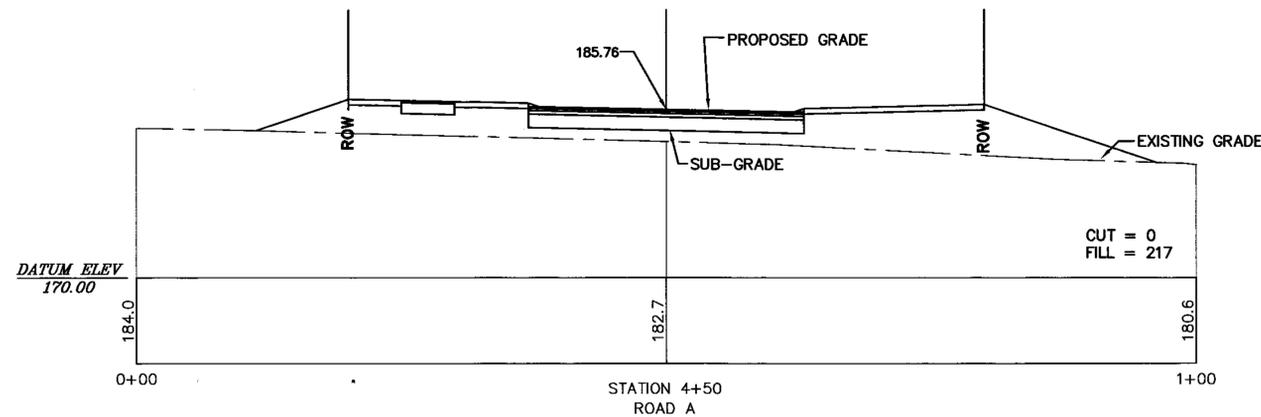
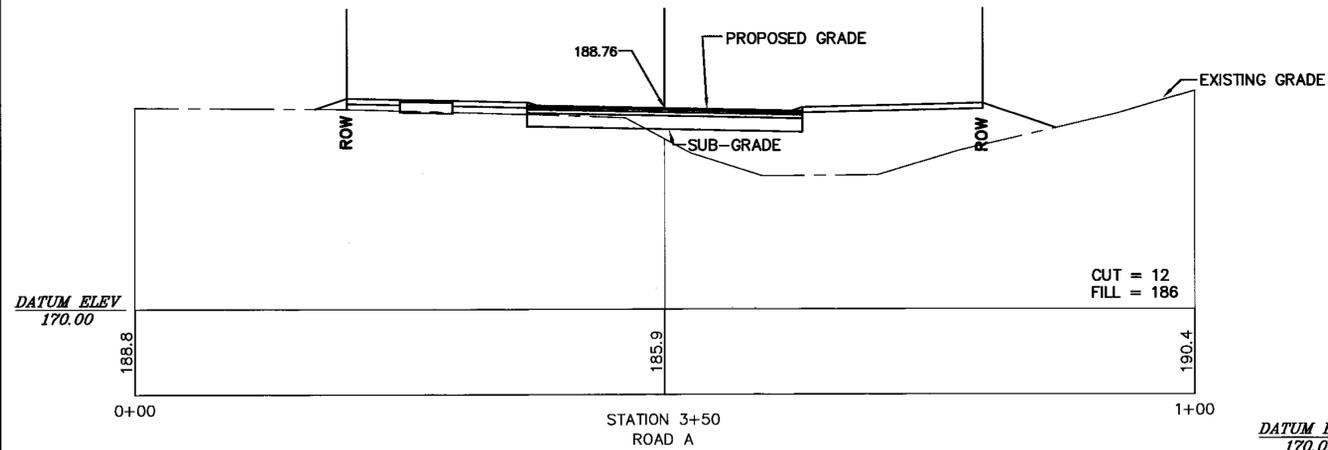
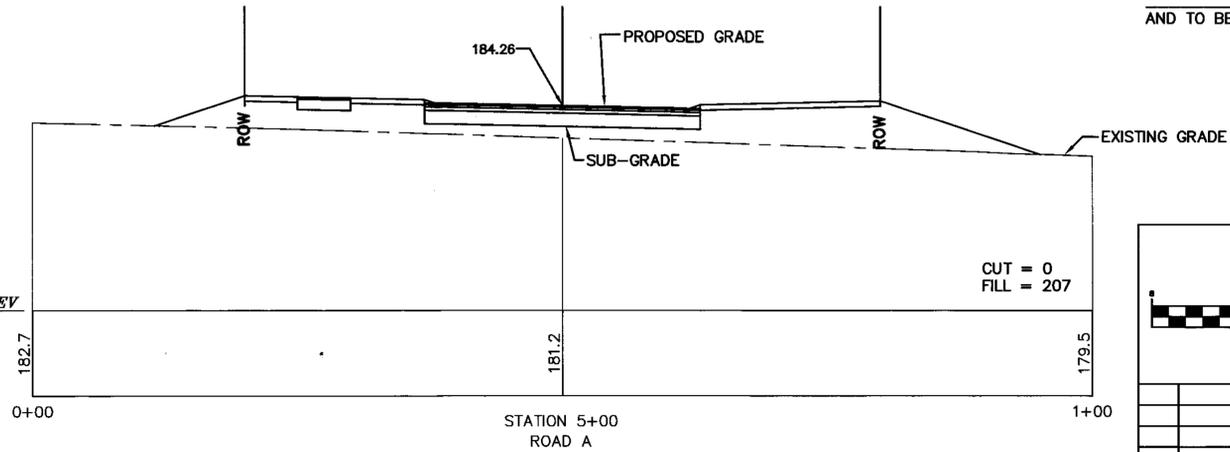
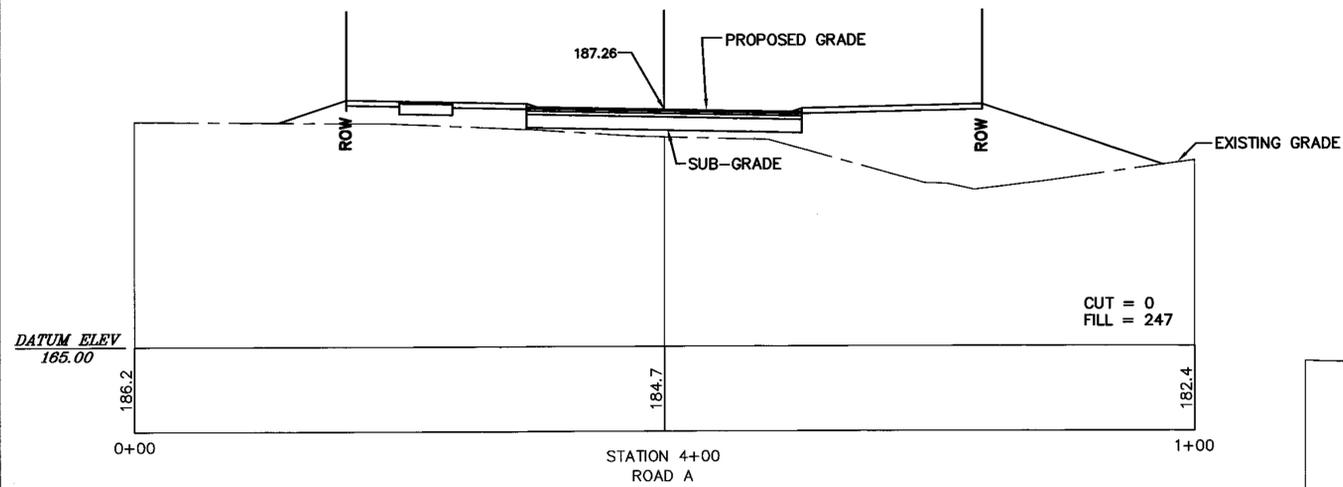
UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE
SEPT. 26 2017

SCALE
1" = 8'

PROJECT
UC293-DEF

SHEET
CS-1



FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____

AND TO BE RECORDED HEREWITH. DATED _____

DATE	FIELD BY:	INT.
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10/17	DESIGNED BY: RRG	
10/17	DRAWN BY: COMP	
10/17	CHECKED BY: CAQ	

GRAPHIC SCALE
(IN FEET)
1 inch = 8 ft.

NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

DATE APPROVED _____

DATE ENDORSED _____

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS

ROAD "A" CROSS SECTIONS - 2
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

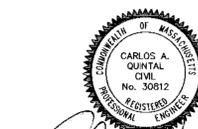
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 8'

I TOWN CLERK OF THE TOWN OF NORFOLK, RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

I DECLARE THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



CARLOS A. QUINTAL P.E. #30812

SCALE:
HORIZONTAL - 1" = 8'
VERTICAL - 1" = 8'

UNITED CONSULTANTS INC.

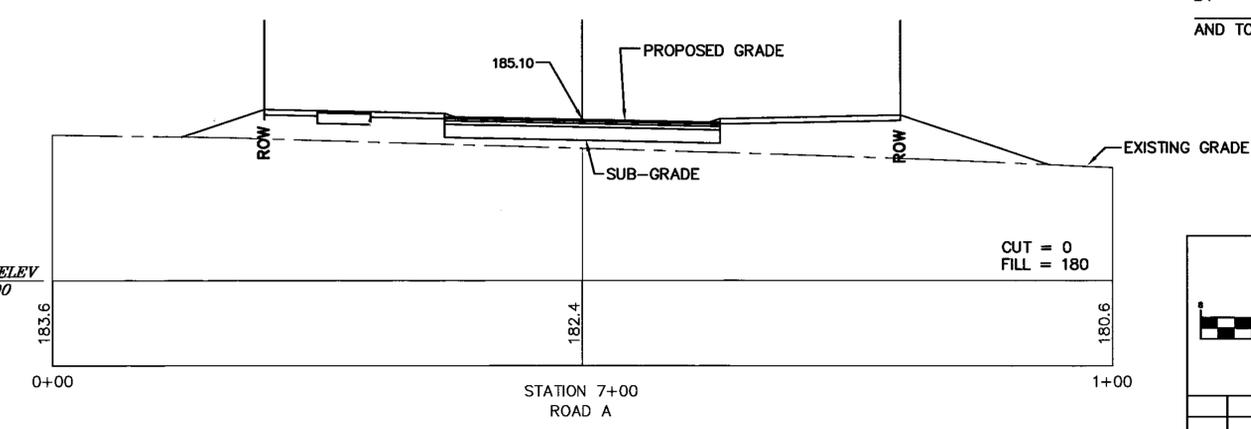
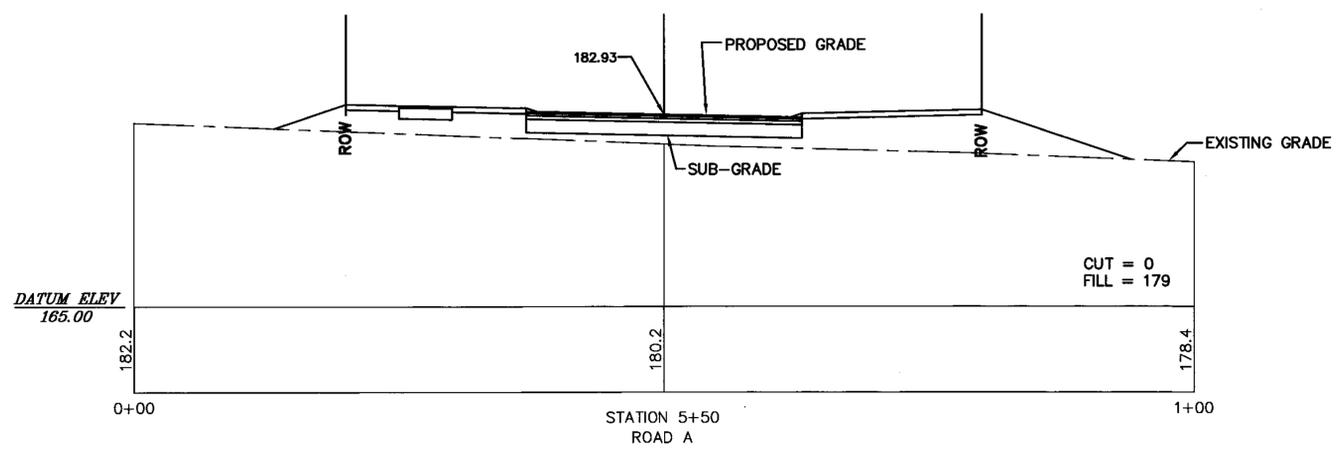
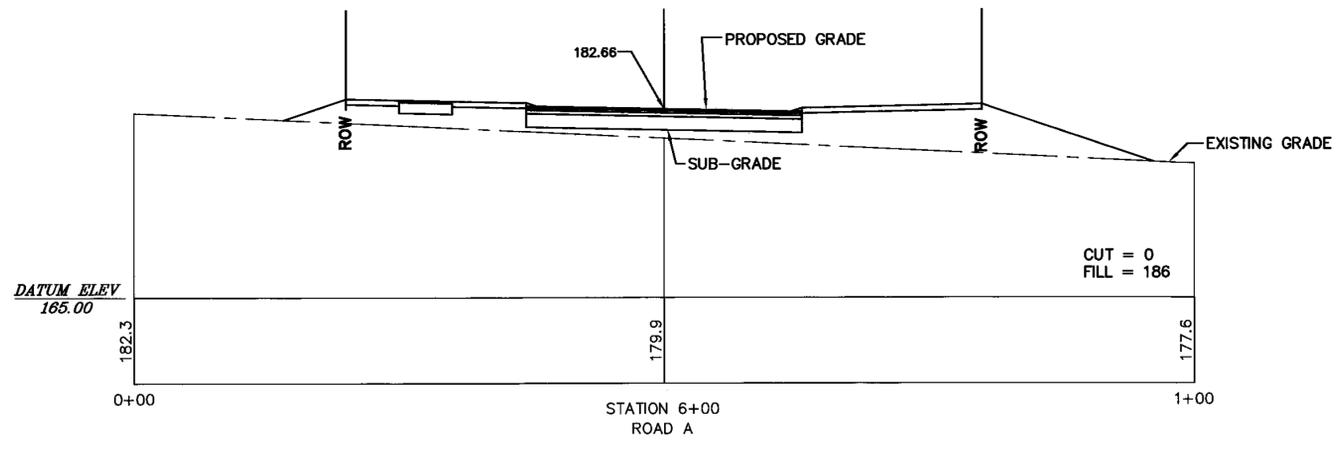
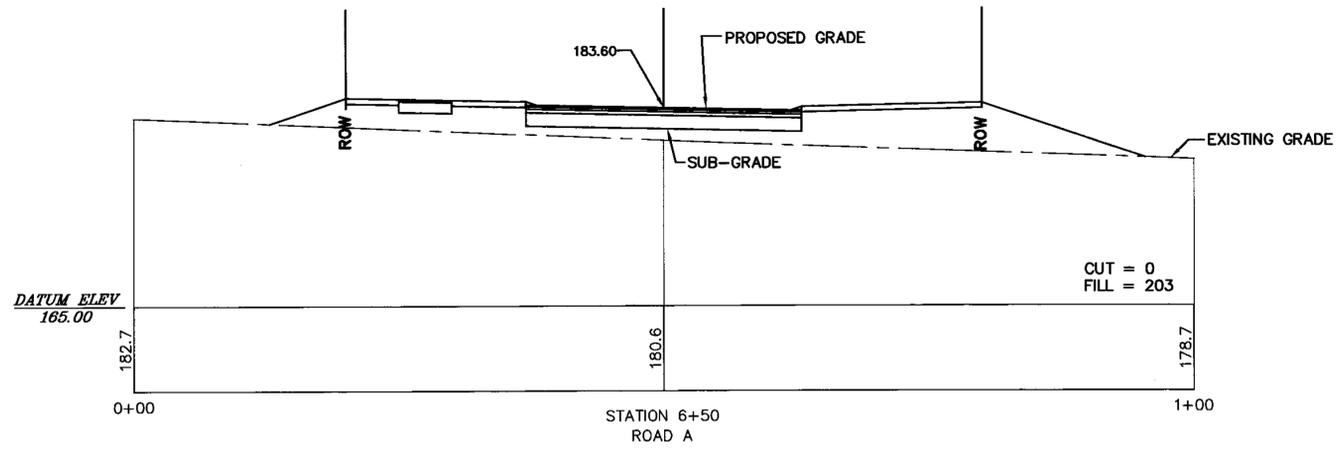
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE
SEPT. 26 2017

SCALE
1" = 8'

PROJECT
UC293-DEF

SHEET
CS-2



FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.
 APPROVED _____ SUBJECT TO COVENANT
 CONDITIONS SET FORTH IN A COVENANT EXECUTED
 BY _____ DATED _____
 AND TO BE RECORDED HEREWITH.

DATE	FIELD BY:	INT.
	JB	
BK#	FIELD BOOK	PG#
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	CAQ

GRAPHIC SCALE
 (IN FEET)
 1 inch = 8 ft.

NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

DATE APPROVED _____

DATE ENDORSED _____

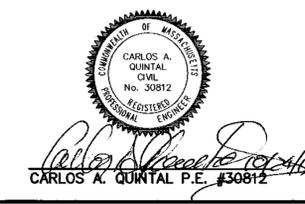
I TOWN CLERK OF THE TOWN OF NORFOLK,
 RECEIVED AND RECORDED FROM THE PLANNING
 BOARD APPROVAL OF THIS PLAN AND NO APPEAL
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TOWN CLERK _____ DATE _____

SCALE:
 HORIZONTAL - 1" = 8'
 VERTICAL - 1" = 8'

OWNER AND APPLICANT:
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS

I DECLARE THAT THIS PLAN HAS BEEN
 PREPARED IN CONFORMITY WITH THE
 RULES AND REGULATIONS OF THE
 REGISTERS OF DEEDS OF THE
 COMMONWEALTH OF MASSACHUSETTS



OPEN SPACE PRESERVATION DEVELOPMENT
 NORWAY FARMS
 ROAD "A" CROSS SECTIONS - 3
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 FOR
 NORWAY REALTY TRUST II
 33 MEDWAY STREET
 NORFOLK, MASSACHUSETTS
 DATE: SEPTEMBER 26, 2017
 SCALE: 1" = 8'

UNITED CONSULTANTS INC. 850 FRANKLIN STREET SUITE 11D WRENTHAM, MASSACHUSETTS 02093 508-384-6560 FAX 508-384-6566	DATE	SEPT. 26 2017
	SCALE	1" = 8'
	PROJECT	UC293-DEF
	SHEET	CS-3

ROADWAY EARTHWORK SUMMARY:

ROAD "A"

CUBIC YARDS CUT = 7,625 CUBIC YARDS

CUBIC YARDS FILL = 4,410 CUBIC YARDS

EXCESS FROM ROAD = 3,215 CUBIC YARDS

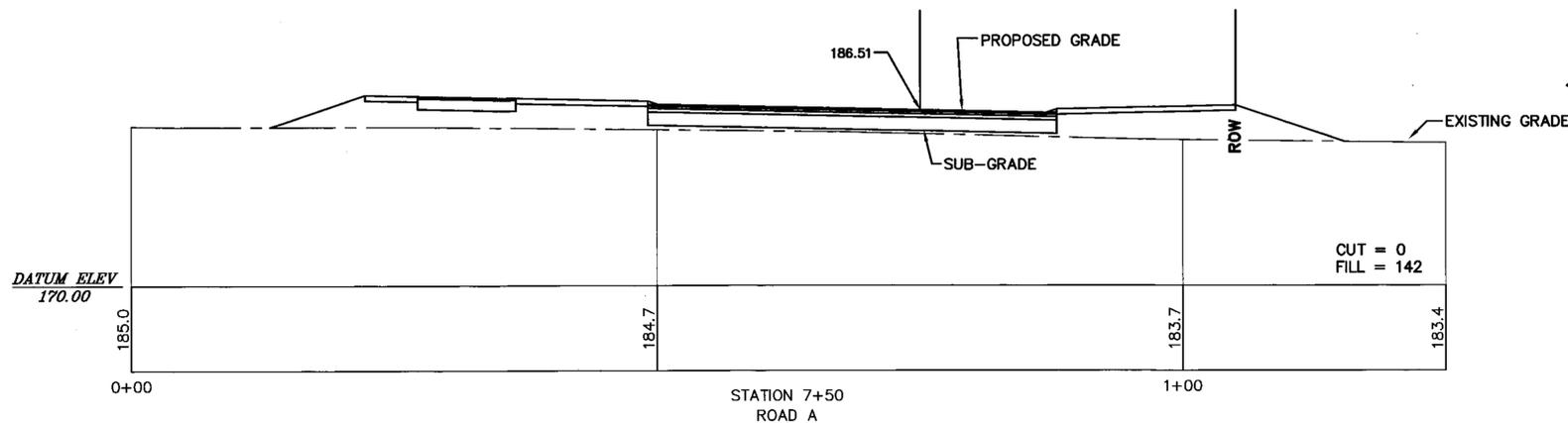
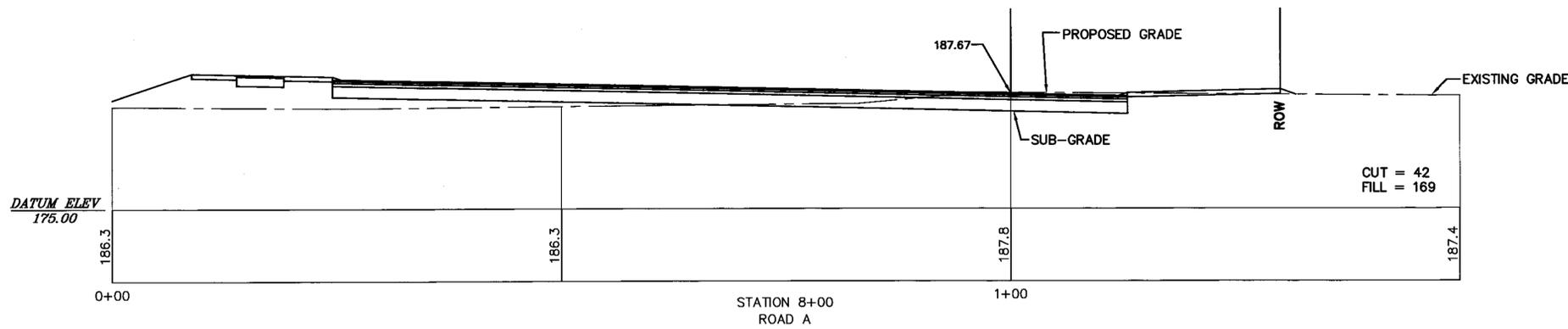
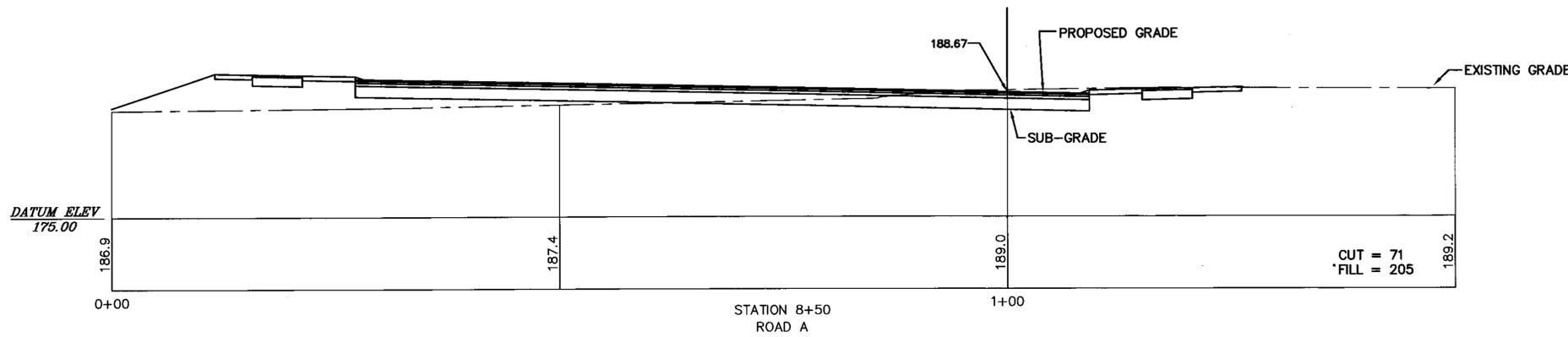
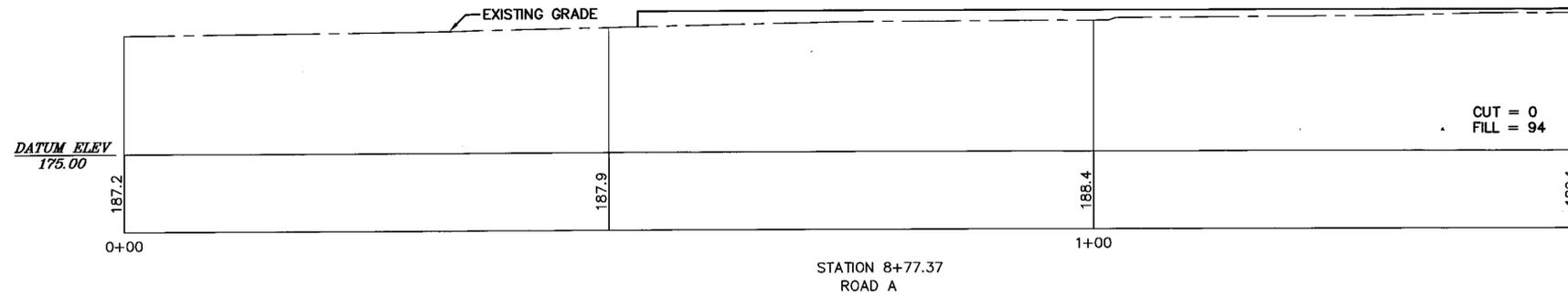
FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

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CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____

DATED _____
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10/17	DRAWN BY: COMP	
10/17	CHECKED BY: CAQ	



GRAPHIC SCALE

(IN FEET)
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NO.	DATE	DESCRIPTION	BY

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TOWN CLERK _____ DATE _____

NORFOLK PLANNING BOARD

DATE APPROVED _____
DATE ENDORSED _____

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

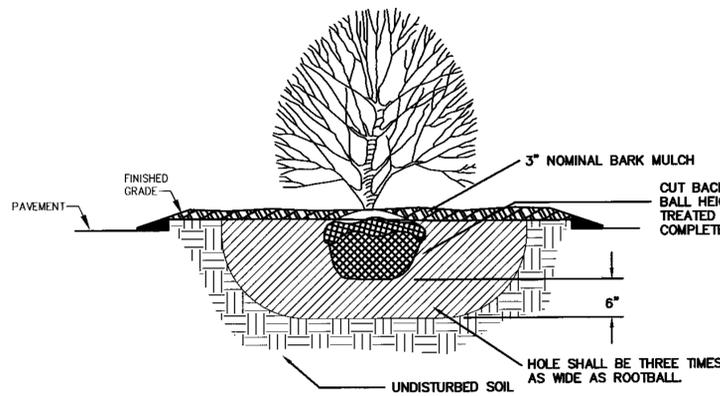
OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
ROAD "A" CROSS SECTIONS - 4
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 8'

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COMMONWEALTH OF MASSACHUSETTS

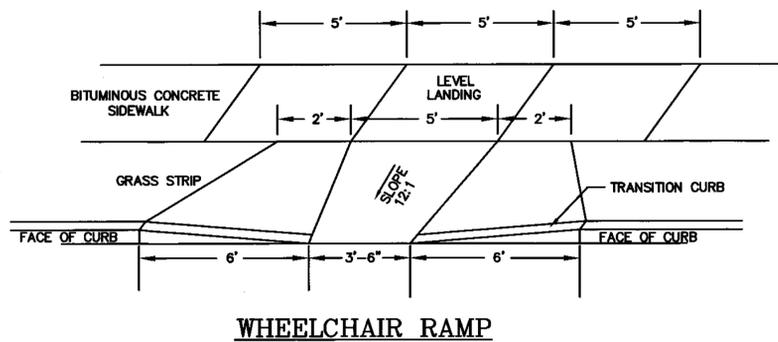


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850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8588

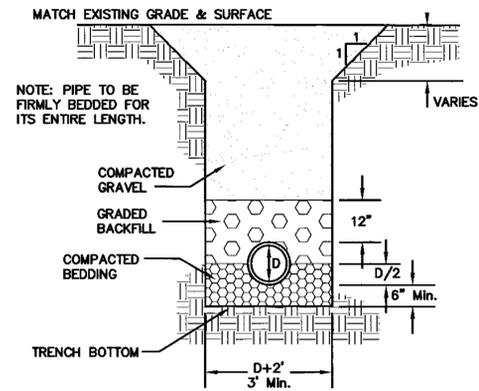
DATE	SEPT. 26 2017
SCALE	1" = 8'
PROJECT	UC293-DEF
SHEET	CS-4



SHRUB PLANTING



WHEELCHAIR RAMP

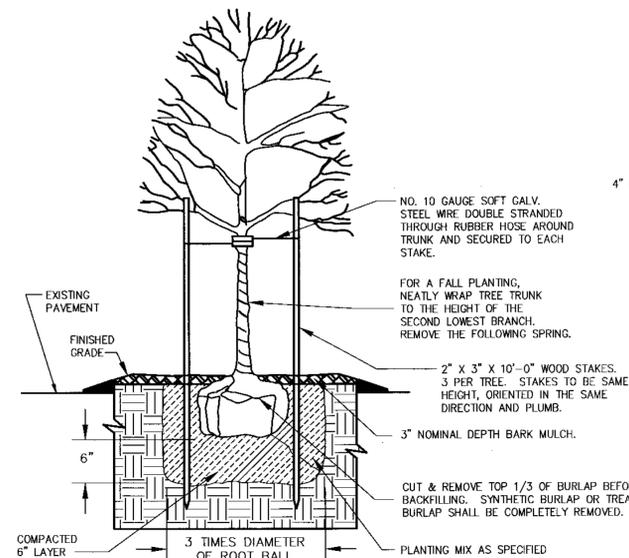


TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER
BEDDING MATERIAL	GRAVEL	SAND	3/4" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE

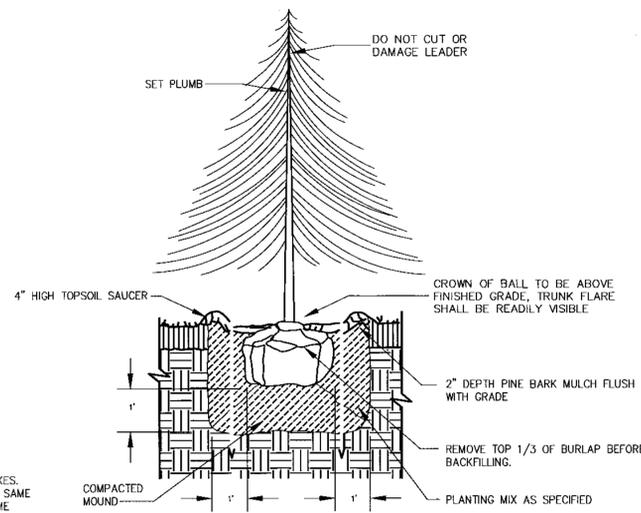
UTILITY TRENCH DETAIL

DATE	FIELD BY:	INT.
BK#	FIELD BOOK	PG#
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	CAQ

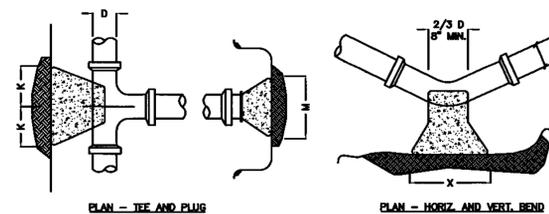
FOR REGISTRY USE ONLY



DECIDUOUS TREE PLANTING



EVERGREEN TREE PLANTING



SIZE OF BRANCH	J	K	L	M	N	O
4" TO 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" TO 16"	1'-0"	1'-6"	1'-6"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

90 & 45 BENDS		22 1/2 & 11 1/4 BENDS	
D	4" TO 8" 10" TO 16" 24"	4" TO 8" 10" TO 16" 24"	24"
X	1'-8" 3'-4" 3'-8"	1'-4" 2'-0" 3'-8"	
Y	1'-2" 1'-8" 2'-4"	1'-0" 1'-2" 2'-4"	

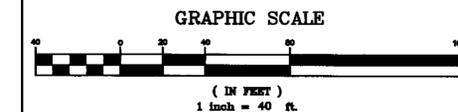
THRUST BLOCK DETAILS

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HEREWITH.

TOWN CLERK _____ DATE _____

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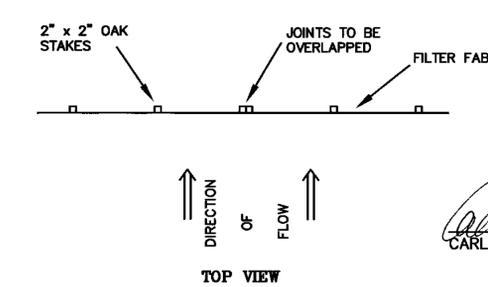
NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

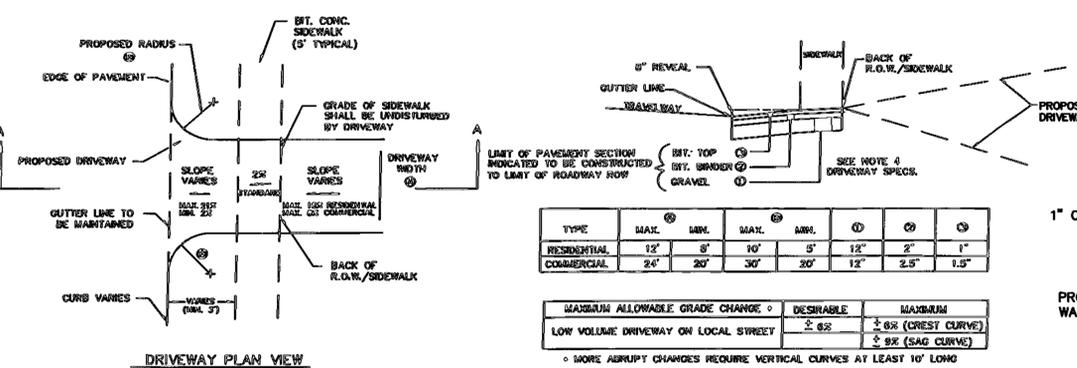
DATE APPROVED _____
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Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

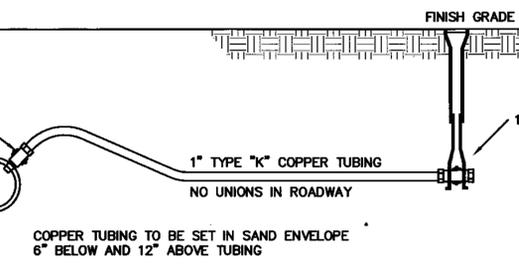


SILT FENCE DETAIL



DRIVEWAY SECTION A - A

RESIDENTIAL & COMMERCIAL DRIVEWAY DETAIL

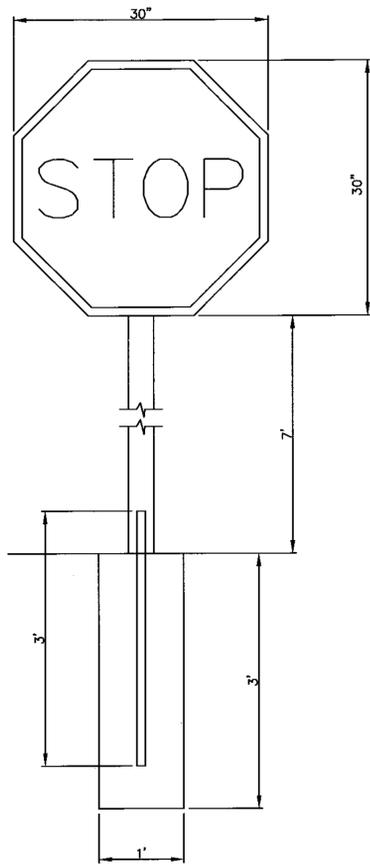


1" DOMESTIC WATER SERVICE

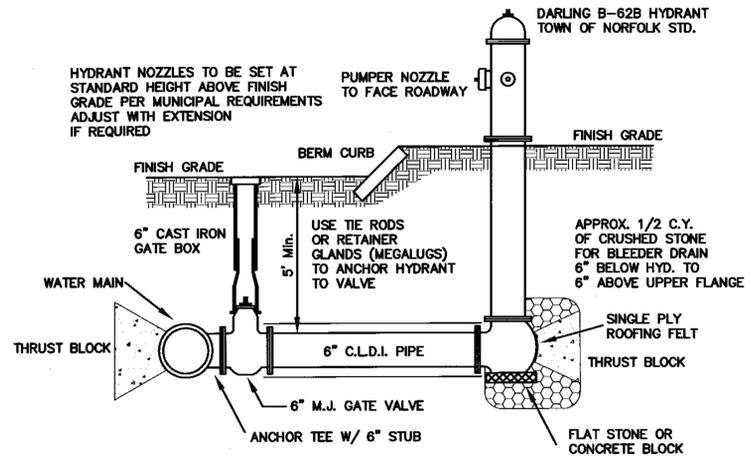
OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
CONSTRUCTION DETAILS - 1
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

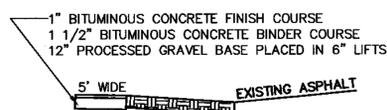
DATE	SEPT. 26, 2017
SCALE	1" = 40'
PROJECT	UC293-DEF
SHEET	CD 1



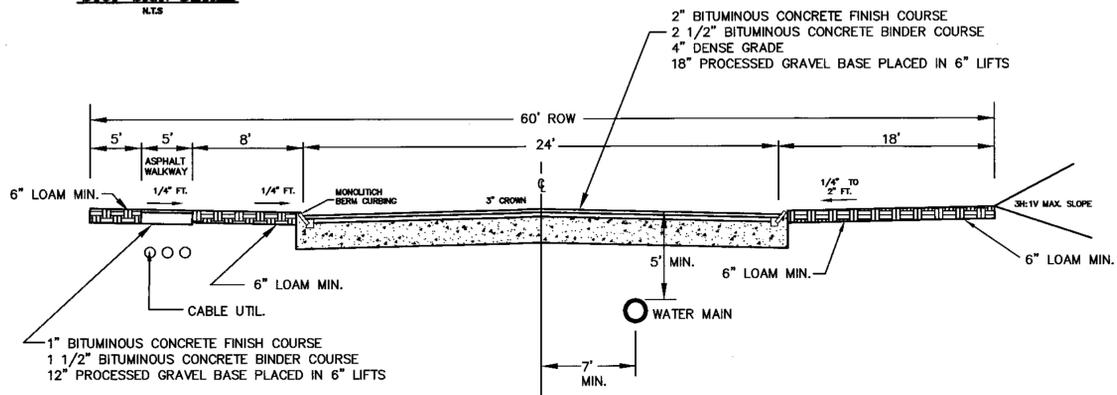
STOP SIGN DETAIL
N.T.S.



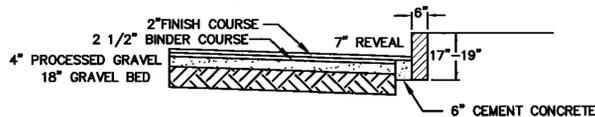
HYDRANT CONNECTION



MEDWAY STREET SIDEWALK



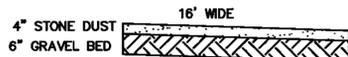
ROADWAY CROSS SECTION - ROAD A



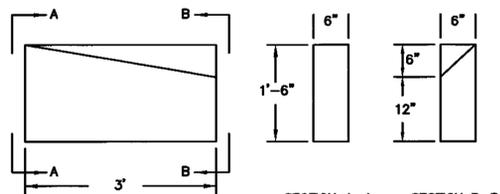
PAVEMENT AND VA-4
VERTICAL GRANITE CURBING



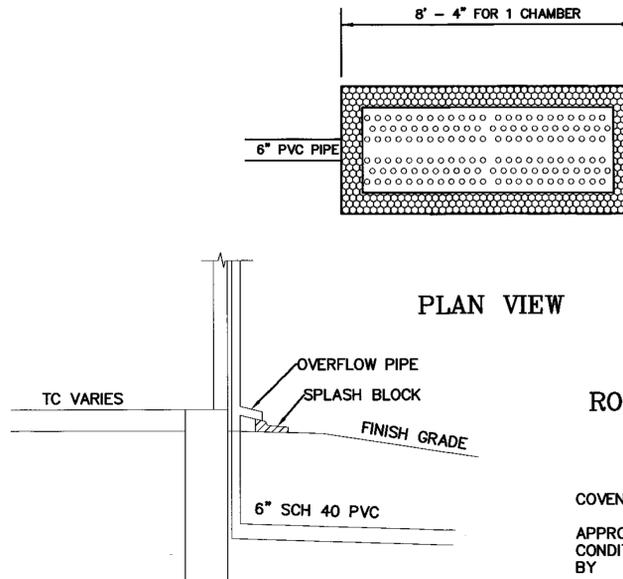
BERM CURB DETAIL



EMERGENCY ACCESS ROAD

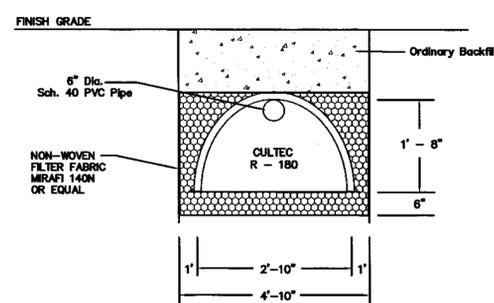


GRANITE CURB TRANSITION DETAIL



ROOF LEADER DETAIL

PLAN VIEW



SECTION VIEW

ROOF DRAINAGE SYSTEM

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____

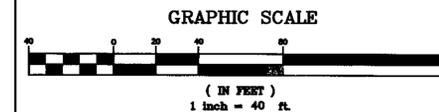
DATED _____
AND TO BE RECORDED HEREWITH.

TOWN CLERK _____

DATE _____

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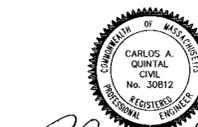
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COMMONWEALTH OF MASSACHUSETTS



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

FLARED END SECTIONS

PART N°	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
300	300 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1210-NP	15"	6.5"	10"	6.5"	25"	29"
375	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
450	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
600	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3012-NP	30"	10.5"	N/A	7.0"	53"	68"
750	750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm
3612-NP	36"	10.5"	N/A	7.0"	53"	68"
900	900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm

NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.

NOTE: ALL DIMENSIONS ARE NOMINAL.

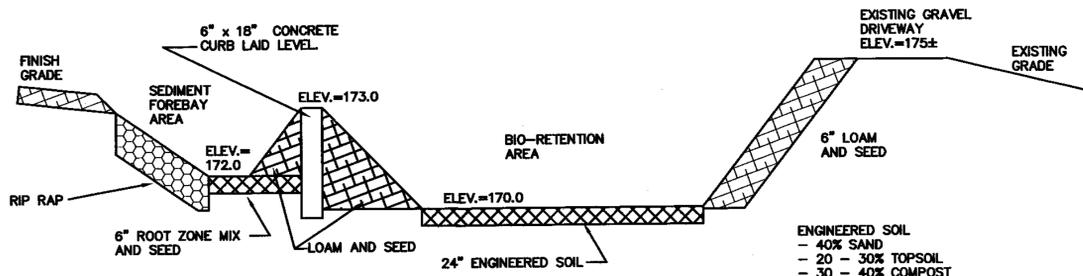
ADSS
ADVANCED DRAINAGE SYSTEMS, INC.
D.P.K. 10-6-97 N.E.K. 10-6-97 DW-272

REVISIONS
BY DATE
K.M.J. 2-11-99

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
CONSTRUCTION DETAILS - 2
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
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508-384-6560 FAX 508-384-6566

DATE
SEPT. 26, 2017
SCALE
1" = 40'
PROJECT
UC293-DEF
SHEET
CD 2



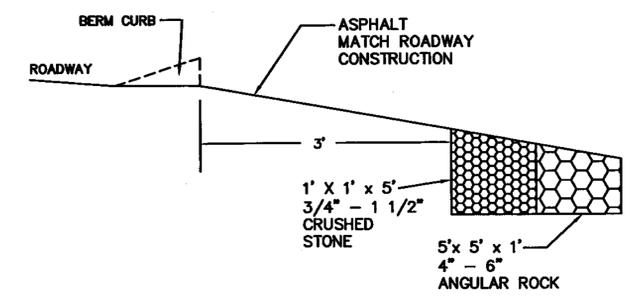
**SEDIMENT FOREBAY AND
BIO-RETENTION AREA
SECTION**
N.T.S.

ENGINEERED SOIL
 - 40% SAND
 - 20 - 30% TOPSOIL
 - 30 - 40% COMPOST

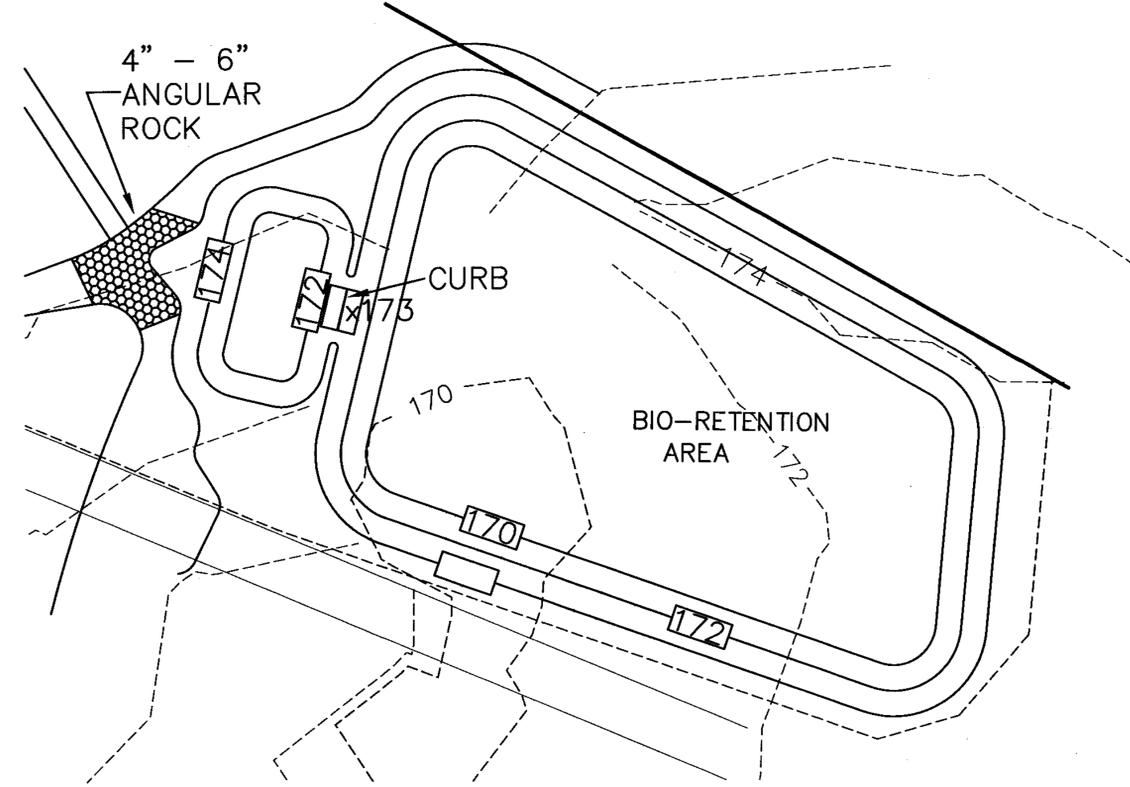
SAND COMPONENT ASTM D 422
 SIEVE SIZE PERCENT PASSING
 2-INCH 100
 3/4-INCH 70-100
 1/4-INCH 50-80
 US NO 40 15-40
 US NO 200 0-3

**BIO RETENTION
AREA PLANTINGS**

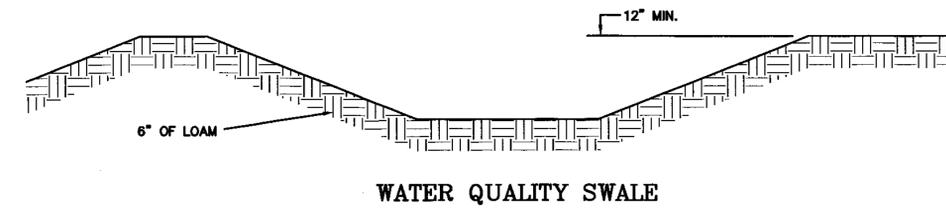
- NEW ENGLAND ASTER
 - FOX SEDGE
 - SPOTTED JOE PYE WEED
 - SNEEZEWEED
 - TORREY'S RUSH
 - GAYFEATHER
 - CARDINAL FLOWER
 - GREAT BLUE LOBELIA
 - WINGED LOOSESTRIFE
 - WILD BERGAMOT
 - SWITCH GRASS
 - MARSH PHLOX
 - MOUNTAIN MINT
 - SWEET CONEFLOWER
 - RIDDEL'S GOLDENROD
 - GOLDEN ALEXANDER
- APPROXIMATELY 1 PLANT
PER 25 SQUARE FEET OF
BIO-RETENTION AREA



**ROADWAY DRAINAGE OUTLET
DETAIL**
SCALE: NTS.



**BIO-RETENTION AREA
DETAIL**
SCALE: 1"=20'



WATER QUALITY SWALE

FOR REGISTRY USE ONLY

COVENANTS TO BE RECORDED HEREWITH.

APPROVED _____ SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____ DATED
AND TO BE RECORDED HEREWITH.

DATE	FIELD BY:	INT.
	JB	
BK#	FIELD BOOK	PG#
10/17	CALCS BY:	RRG
10/17	DESIGNED BY:	RRG
10/17	DRAWN BY:	COMP
10/17	CHECKED BY:	CAQ

GRAPHIC SCALE

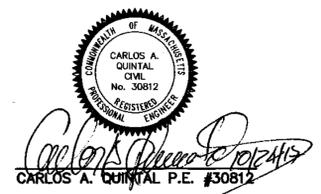
NO.	DATE	DESCRIPTION	BY

NORFOLK PLANNING BOARD

DATE APPROVED _____

DATE ENDORSED _____

I DECLARE THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS



I TOWN CLERK OF THE TOWN OF NORFOLK,
RECEIVED AND RECORDED FROM THE PLANNING
BOARD APPROVAL OF THIS PLAN AND NO APPEAL
HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER
RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

OWNER AND APPLICANT:
NORWAY REALTY TRUST II
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS

OPEN SPACE PRESERVATION DEVELOPMENT
NORWAY FARMS
CONSTRUCTION DETAILS - 3
MEDWAY STREET
NORFOLK, MASSACHUSETTS
FOR
NORWAY REALTY TRUST
33 MEDWAY STREET
NORFOLK, MASSACHUSETTS
DATE: SEPTEMBER 26, 2017
SCALE: 1" = 40'

<p>UNITED CONSULTANTS INC.</p> <p>850 FRANKLIN STREET SUITE 11D WRENTHAM, MASSACHUSETTS 02093 508-384-6560 FAX 508-384-6568</p>	DATE	SEPT. 26, 2017
	SCALE	1" = 40'
	PROJECT	UC293-DEF
	SHEET	CD 3